

	REQUIRED	PROPOSED SITE PLAN CASE NO. LU-16-00168
ZONING	GENERAL COMMERCIAL (CG)	GENERAL COMMERCIAL (CG)
PARCEL AREA AND STREET FRONTAGE	1.0 ACRE 125 FEET	4.50 ACRES 868.3 FEET
PERMITTED USES	REFER TO LAND DEVELOPMENT CODE SECTION 12-2-301 AND USE TABLES	AUTO BROKER
MAXIMUM BUILDING HEIGHT	50 FEET	30 FEET
MINIMUM BUILDING SETBACKS	FRONT 25 FT INTERIOR 10 FT STREET SIDE 25 FT REAR 25 FT RESIDENTIAL 50 FT	FRONT 55.2 FT INTERIOR 49.7 FT STREET SIDE 99.0 FT REAR N/A RESIDENTIAL N/A
MINIMUM PARKING SETBACKS	FRONT 25 FT INTERIOR 0 FT STREET SIDE 25 FT REAR 25 FT RESIDENTIAL 50 FT	FRONT 25.0 FT INTERIOR 1.0 FT STREET SIDE 25.0 FT REAR N/A RESIDENTIAL N/A
PARKING RATIOS	OFFICE: FINANCIAL INSTITUTION = (1/250 S.F. FLOOR AREA) = 8,535 S.F./250 S.F. = 35 SPACES PLUS VEHICLE SALES, RENTAL AND SERVICE = 3 SPACES PER SERVICE BAY = 3 X 9 BAYS = 27 SPACES TOTAL REQUIRED PARKING = 62 SPACES	69 STANDARD SPACES 2 ADA SPACES <u>1 VAN ACCESS. SPACES</u> 72 TOTAL SPACES PLUS
ADA PARKING	3 ADA SPACES PER 51-75 SPACES, 1 VAN ACCESSIBLE SPACE PER 6 ADA SPACES = <u>2 ADA SPACES + 1 VAN ACCESSIBLE SPACE</u>	210 SPACES FOR VEHICLE STORAGE
LOADING ZONE	OFFICE: FINANCIAL INSTITUTION = (1/33,000 S.F. FLOOR AREA) = 8,535 S.F./33,000 S.F. = 1 ZONE PLUS VEHICLE SALES, RENTAL AND SERVICE = 1 SPACES PER BUILDING = 1 X 1 BUILDING = 1 ZONE TOTAL REQUIRED LOADING ZONES = 2 ZONES	2 LOADING ZONES
BICYCLE PARKING	1 BICYCLE SPACES PER 15 VEHICLE SPACES = 72/15 = <u>5 SPACES</u>	5 BICYCLE SPACES
LIGHTING ZONE/ MAX. POLE HEIGHT	ZONE L23. MAX. POLE HEIGHT = LARGER OF 25 FEET OR MAXIMUM BUILDING HEIGHT = <u>30 FEET</u>	POLE HEIGHT = 25 FEET
LANDSCAPE SURFACE RATIO	15% 29,403 S.F.	27% 52,194 S.F.

THE OWNER(S) AND DEVELOPER(S) OF THE SITE PLAN KNOWN AS COLORADO AUTO FINDERS, THEIR RESPECTIVE SUCCESSORS, HEIRS AND/OR ASSIGNS AGREE TO THE FOLLOWING NOTES:

EMERGENCY ACCESS IS GRANTED HEREWITH OVER AND ACROSS ALL PAVED AREAS OR OTHER DESIGNATED AREAS FOR POLICE, FIRE AND EMERGENCY VEHICLES.

AFTER SITE PLAN APPROVAL, ISSUANCE OF DEVELOPMENT ORDERS OR PERMITS SHALL BE SUBJECT TO THE REQUIREMENTS OF SECTION 12-14-207 OF THE LAND DEVELOPMENT CODE, AS AMENDED, INCLUDING THE GUARANTEE OF PUBLIC IMPROVEMENTS PURSUANT TO A PUBLIC IMPROVEMENT AGREEMENT IN A FORM APPROVED BY THE CITY ATTORNEY AND EXECUTED BY THE CITY MANAGER OR HIS OR HER DESIGNEE. ALL MORTGAGEES SHALL BE REQUIRED TO SUBORDINATE THEIR LIENS AND INTEREST IN THE PROPERTY TO THE COVENANTS AND THE RESTRICTIONS OF THE PUBLIC IMPROVEMENT AGREEMENT (PER 12-14-207(C)(1) OF THE LAND DEVELOPMENT CODE).

THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDERS OF THIS PLAN WARRANT AND GUARANTEE TO THE CITY, FOR A PERIOD OF ONE YEAR FROM THE DATE OF PROBATIONARY ACCEPTANCE OF THE IMPROVEMENTS WARRANTED HEREUNDER, THE FULL AND COMPLETE MAINTENANCE AND REPAIR OF THE IMPROVEMENTS TO BE CONSTRUCTED IN CONNECTION WITH THE DEVELOPMENT WHICH IS THE SUBJECT OF THIS PLAN. THIS WARRANTY AND GUARANTEE IS MADE IN ACCORDANCE WITH THE CITY LAND DEVELOPMENT CODE AND THE PUBLIC IMPROVEMENT AGREEMENT REQUIRED AGAINST THE PROPERTY. THIS GUARANTEE INCLUDES THE PRESERVATION AND MAINTENANCE OF APURTAINMENTS, STRUCTURES AND AMENITIES LYING WITHIN THE DEDICATED RIGHTS-OF-WAY, EASEMENTS AND OTHER PUBLIC PROPERTIES, INCLUDING, WITHOUT LIMITATION, ALL CURBING, SIDEWALKS, BIKE PATHS, DRAINAGE PIPES, CULVERTS, CATCH BASINS, DRAINAGE DITCHES AND LANDSCAPING. ANY MAINTENANCE AND REPAIR REQUIRED ON UTILITIES SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY PROVIDER.

THE OWNER(S), DEVELOPER(S), AND/OR SUBDIVIDERS SHALL MAINTAIN SAID IMPROVEMENTS IN A MANNER THAT WILL ASSURE COMPLIANCE ON A CONSISTENT BASIS WITH ALL CONSTRUCTION STANDARDS, SAFETY STANDARDS, AND ENVIRONMENTAL PROTECTION REQUIREMENTS OF THE CITY.

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE PRIVATE STREETS AND DRIVES SHOWN ON THIS PLAN ARE NOT IN CONFORMANCE WITH THE CITY OF CENTENNIAL ROADWAY DESIGN AND CONSTRUCTION STANDARDS AND WILL NOT BE MAINTAINED BY THE CITY. THE OWNERS, DEVELOPERS, AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, EITHER INDIVIDUALLY OR COLLECTIVELY THROUGH A PROPERTY/HOME OWNER'S ASSOCIATION, SHALL BE RESPONSIBLE FOR SUCH PRIVATE STREET MAINTENANCE, OPERATION AND RECONSTRUCTION.

THE OWNERS OF THIS PLAN, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNER'S ASSOCIATION OR ENTITY OTHER THAN THE CITY OF CENTENNIAL IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING, LANDSCAPING AND SIDEWALKS BETWEEN THE FENCE LINE/PROPERTY LINE AND ANY PAVED ROADWAYS IN ACCORDANCE WITH APPROVED LANDSCAPE PLANS.

THE OWNERS OF THIS PLAN, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME OTHER ENTITY OTHER THAN THE CITY OF CENTENNIAL, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENT. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. THE CITY OF CENTENNIAL SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED, THE CITY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

IT IS THE POLICY OF THE CITY OF CENTENNIAL THAT IT DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE DRAINAGE FACILITIES DESIGNED AND/OR CERTIFIED BY CIVAS ENGINEERING, LLC. THE CITY OF CENTENNIAL REVIEWS DRAINAGE PLANS PURSUANT TO COLORADO REVISED STATUTES TITLE 31, ARTICLE 23, BUT CANNOT, ON BEHALF OF COLORADO AUTO FINDERS GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW WILL ABSOLVE COLORADO AUTO FINDERS AND/OR THEIR SUCCESSORS AND/OR ASSIGNS OF FUTURE LIABILITY FOR IMPROPER DESIGN. IT IS THE POLICY OF THE CITY OF CENTENNIAL THAT APPROVAL OF THE FINAL PLAT AND/OR FINAL DEVELOPMENT PLAN DOES NOT IMPLY APPROVAL OF CIVAS ENGINEERING, LLC'S DRAINAGE DESIGN.

AIRPORT INFLUENCE AREA NOTE (EASEMENT/HAZARD EASEMENT AND NOISE DISCLOSURE)
(PER 12-3-905(C)(1) of LDC):

CENTENNIAL AIRPORT IS LOCATED 1/2 MILE TO THE SOUTHWEST OF COLORADO AUTO FINDERS. CENTENNIAL AIRPORT IS A BUSY AIRPORT USED BY PISTON AND JET AIRCRAFT AND BY HELICOPTERS, AND IS OPEN 24 HOURS A DAY, SEVEN DAYS A WEEK. ALL PROPERTY WITHIN COLORADO AUTO FINDERS IS SUBJECT TO THE TERMS OF AN AVIGATION AND HAZARD EASEMENT, RECORDED AT RECEPTION NUMBER 2205654 ON SEPTEMBER 21, 1982. THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER, THE EASEMENT CONSTITUTES A LIEN IN FAVOR OF THE AIRPORT AND PREVENTS THE FUTURE OWNERS AND OCCUPANTS OF PROPERTY WITHIN COLORADO AUTO FINDERS FROM OBJECTING TO OR SEEKING DAMAGES DUE TO AIRCRAFT OPERATIONS, THE EASEMENT ALSO PREVENTS OWNERS AND OCCUPANTS FROM INSTALLING STRUCTURES, TREES OR OTHER OBJECTS THAT COULD INTERFERE WITH FLIGHT OPERATIONS AT THE AIRPORT.

ALL PUBLIC USE EASEMENTS SHOWN HEREON BURDEN AND RUN WITH ALL LANDS DESCRIBED IN THIS SITE PLAN TO THE BENEFIT OF THE CITY OF CENTENNIAL AND ITS ASSIGNS, ARE BINDING UPON THE OWNERS AND THEIR RESPECTIVE SUCCESSORS, HEIRS AND ASSIGNS, AND ARE GOVERNED BY ANY AND ALL TERMS AND CONDITIONS OF RECORD.

IN ACCORDANCE WITH SECTION 12-111-208 OF THE CITY LAND DEVELOPMENT CODE, THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS BETWEEN A HEIGHT OF THREE FEET (3') AND EIGHT FEET (8') ABOVE THE ELEVATION OF THE STREET CENTERLINE WITHIN SAID SIGHT TRIANGLE.

The map shows the area around Cherry Creek State Park. Key features include:

- Cherry Creek State Park** at the top.
- Centennial Airport** at the bottom center.
- Major Roads:** S. Havana St., E. Arapahoe Rd., E. Fremont Ave., E. Briarwood Ave., E. Caley Ave., E. Potomac St., E. Quenton St., E. Broadway Ave., S. Potomac St., S. Tulosa Wk., S. Birchwood Ave., S. Hickman St., S. Arapahoe St., S. Centennial St., S. Arapahoe Rd., S. Arapahoe Ave., S. Arapahoe Dr., S. Arapahoe Pl., S. Arapahoe Ct., S. Arapahoe Ln.
- Counties:** Arapahoe County, City of Centennial, City of Greenwood Village.
- Other Labels:** SITE, SHERMAN PARK, CENTENNIAL AIRPORT, CHERRY CREEK STATE PARK.

SCALE: 1" = 2000'

GENERAL COMMERCIAL (CG)

LOT 2A, BLOCK 1, SOUTHFIELD PARK FILING NO. 11.

1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	SITE PLAN
4	GRADING AND DRAINAGE PLAN
5	UTILITY PLAN
6	LANDSCAPE PLANS
7	LANDSCAPE PLANS
8	LANDSCAPE NOTES AND DETAILS
9	IRRIGATION PLAN
10	IRRIGATION PLAN
11	IRRIGATION DETAILS
12	BUILDING ELEVATIONS
13	COLOR BUILDING ELEVATIONS
14	PHOTOMETRIC PLAN AND LIGHTING DETAILS.

_____, HEREBY AFFIRM THAT I AM THE OWNER OR AUTHORIZED AGENT OF ALL INDIVIDUALS OR ENTITIES HAVING OWNERSHIP INTEREST IN THE PROPERTY DESCRIBED HEREIN, KNOWN AS COLORADO AUTO FINDERS SITE PLAN (CITY CASE NO. LU-16-00168.

STATE OF _____ }

COUNTY OF _____ }

THE FOREGOING CERTIFICATION OF OWNERSHIP WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ A.D., 2016,

BY _____ AS _____

OF _____ AN AUTHORIZED SIGNATORY.

BY _____ WITNESS MY HAND AND SEAL

MY COMMISSION EXPIRES: _____

ADDRESS

CITY, STATE AND ZIP CODE

APPROVED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT OF THE CITY OF CENTENNIAL
THIS _____ DAY OF _____, 20____.

DIRECTOR OR DESIGNEE

RATIFIED BY THE CITY OF CENTENNIAL PLANNING AND ZONING COMMISSION, THIS ____ DAY
OF _____, A.D., 20____.

CHAIRPERSON

ATTEST

THIS PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER
OF ARAPAHOE COUNTY AT _____ (A.M./P.M.) THIS _____ DAY OF _____
A.D., 2016 IN _____

BOOK _____, PAGE _____, MAP _____, RECEPTION NO. _____.

COUNTY CLERK AND RECORDER

BY: _____
DEPUTY

THE PREVIOUSLY APPROVED AMENDMENTS RELATED TO THE SITE PLAN FOR COLORADO AUTO FINDERS, LOT 2A, BLOCK 1 SOUTHFIELD PARK FILING NO. 11 ARE AS FOLLOWS:

FEBRUARY 17, 1981 SOUTHFIELD PARK FIRST ADMINISTRATIVE AMENDMENT TO THE FINAL DEVELOPMENT PLAN (A80-32). THE FRONTAGE ROAD ON ARAPAHOE ROAD WAS CHANGED TO A 60' R.O.W. AND A DRIVEWAY ACCESS FROM ARAPAHOE ROAD WAS APPROVED AT THE LOT LINE BETWEEN LOT 1 AND 2, BLOCK 1.

FEBRUARY 28, 1984 SOUTHFIELD PARK SECOND ADMINISTRATIVE AMENDMENT TO THE FINAL DEVELOPMENT PLAN (A84-50). THE COMMERCIAL USE FOR LOTS 1 AND 2, BLOCK 1 AND LOTS 1 AND 2, BLOCK 2 WAS CHANGED FROM B-4 USES TO B-3 USES.

FEBRUARY 4, 1985 SOUTHFIELD PARK THIRD ADMINISTRATIVE AMENDMENT TO THE FINAL DEVELOPMENT PLAN (A84-56). THE MAXIMUM DENSITY IN BLOCK 1 AND LOTS 1 AND 2, BLOCK 2 WAS INCREASED TO 101,000 S.F. AND INCREASED THE F.A.R. TO 0.4:1. THE MAXIMUM DENSITY FOR BLOCK 5 WAS DECREASED BY 101,000 S.F. DECREASING THE F.A.R. TO 0.9:1. THE SETBACK FOR LOTS 1 AND 2, BLOCK 2 WAS INCREASED TO 50 FEET FOR ANY BUILDING EXCEEDING 50 FEET IN HEIGHT.

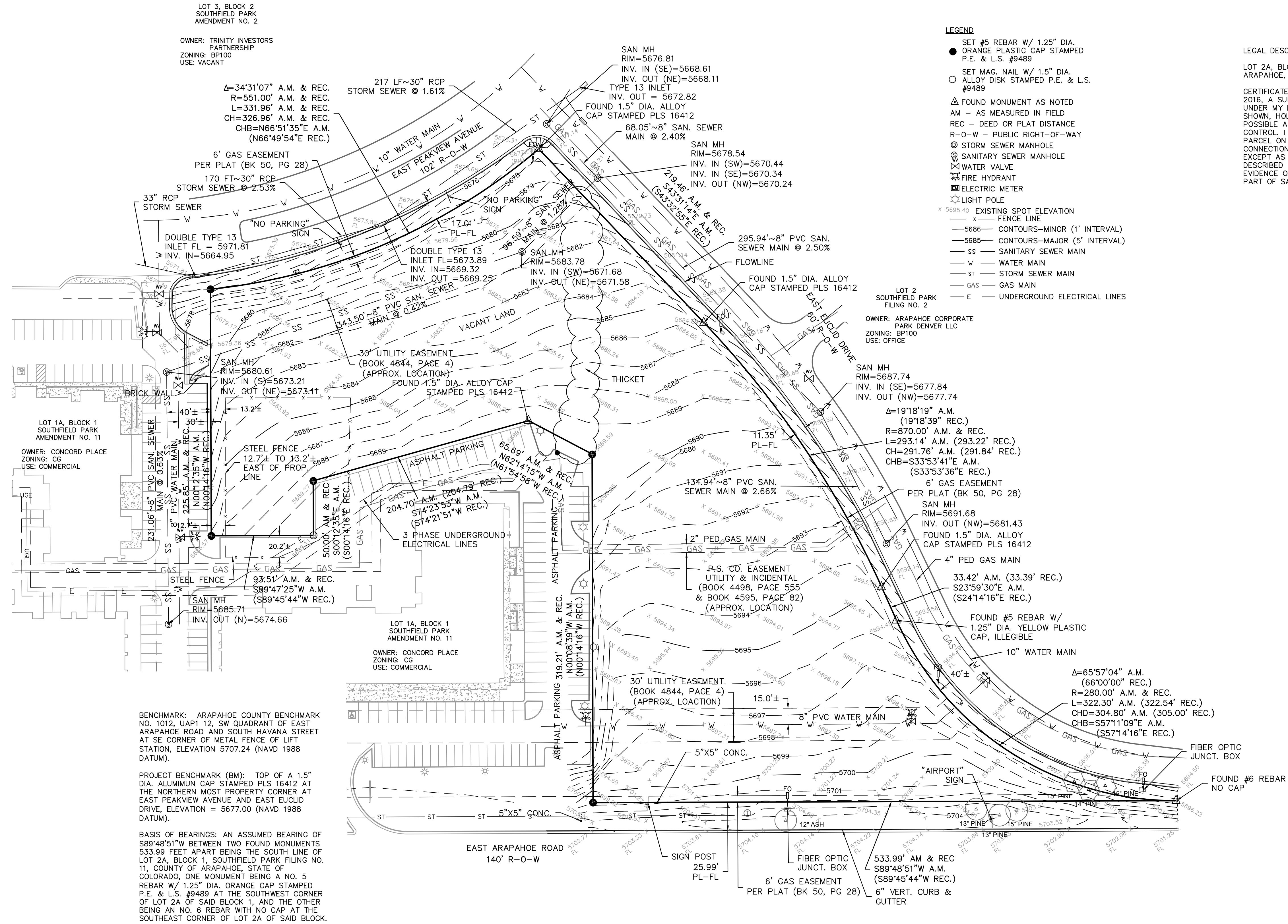
NOVEMBER 2, 1993 SOUTHFIELD PARK EIGHTH ADMINISTRATIVE AMENDMENT TO THE FINAL DEVELOPMENT PLAN (A93-022). THE SIGN REQUIREMENTS FOR LOTS 1 AND 2, BLOCK 1 WERE AMENDED TO PERMIT IDENTIFICATION OF BUSINESSES AND INCREASE THE SIGN AREA TO 60 S.F. PER SIDE THE HEIGHT TO 10'-3".

APRIL 26, 2013 SOUTHFIELD CENTER REZONING PLAN (LU-12-00254). CHANGED THE ZONING FOR LOTS 1A AND 2A, SOUTHFIELD CENTER FILING NO. 11 FROM MIXED-USE PLANNED UNIT DEVELOPMENT (M-U-PUD) TO GENERAL COMMERCIAL (CG).

<div>COLORADO AUTO FINDERS SITE PLAN</div>		REVISIONS		<div>COVER SHEET</div>							
		By	Date			Description					
		SS	8-24-16			FIRST SUBMITTAL REVIEW COMMENTS					
		SS	9-23-16			SECOND SUBMITTAL REVIEW COMMENTS					
DRAWN				SS							
CHECKED				SMS							
DESIGNED				SMS							
FILENAME											
						JOB NO.					
						SCALE N/A					
						DATE JUNE 20, 2016					
						SHEET 1		TOTAL SHEETS 14			

COLORADO AUTO FINDERS
SITE PLAN

LOT 2A, BLOCK 1 SOUTHFIELD PARK FILING NO. 11
PART OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 67 WEST, 6TH PRINCIPAL MERIDIAN
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



COLORADO AUTO FINDERS
SITE PLAN

LOT 2A, BLOCK 1 SOUTHFIELD PARK FILING NO. 11
PART OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 67 WEST, 6TH PRINCIPAL MERIDIAN
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO

SERVICE AREA: 6531
AUTO BROKERAGE AREA: 6073

PARKING COUNT

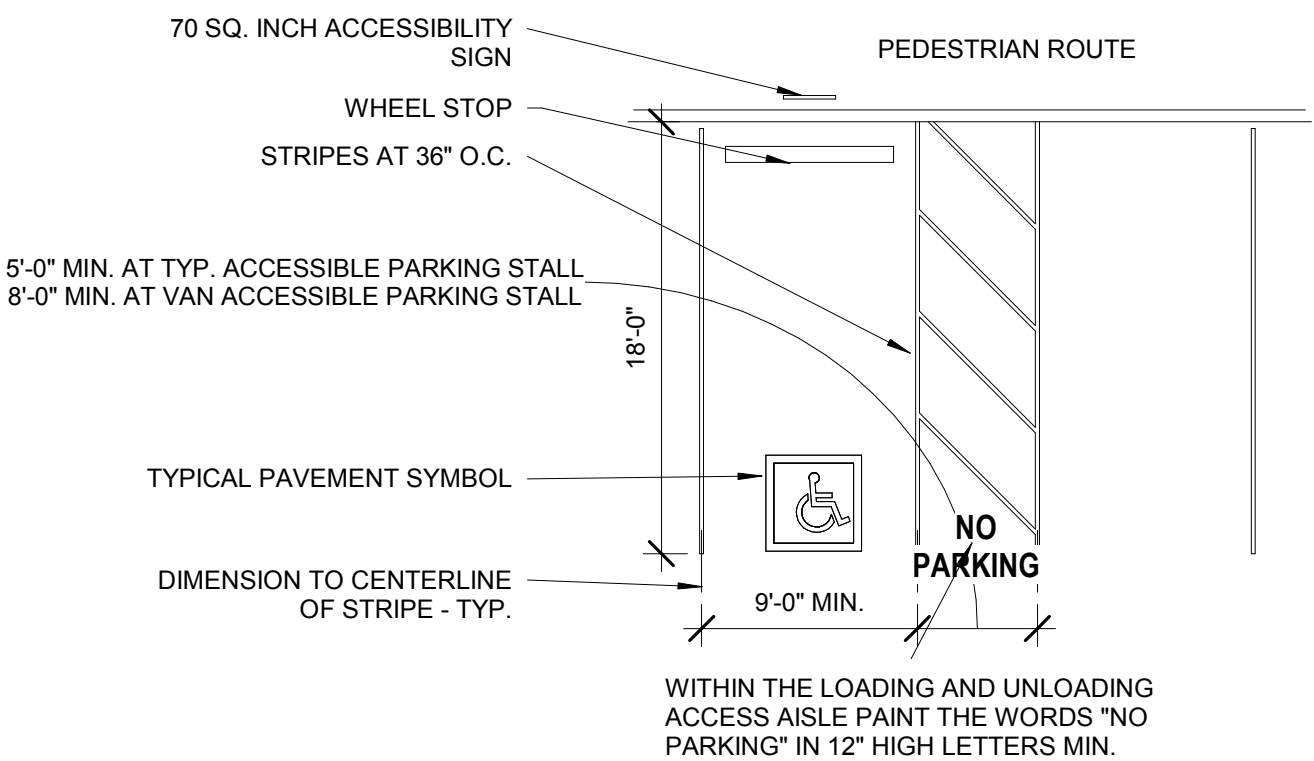
- 210 VEHICLE INVENTORY SPACES
- 79 PUBLIC SPACES(CUSTOMER & EMPLOYEE)
- 3 ADA SPACES PROVIDED
- 5 Bicycle spaces

SITE PLAN GENERAL NOTES

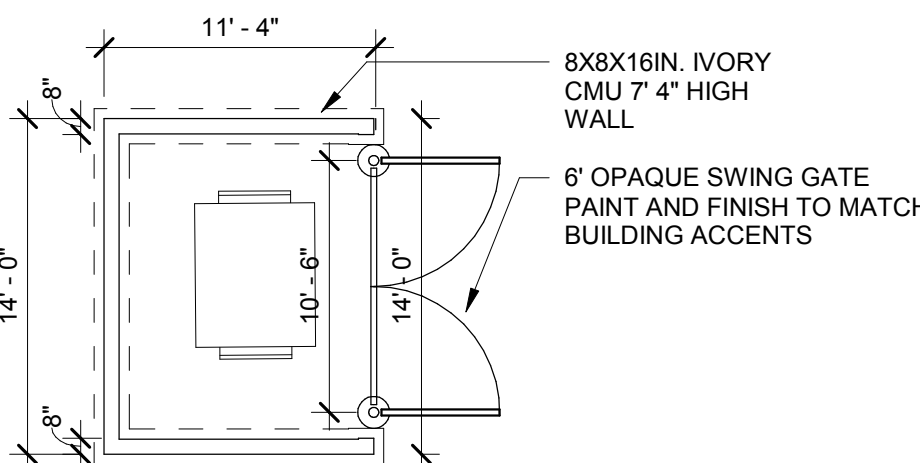
- BUILDING DATA:
TOTAL SQUARE FOOTAGE: 12,600 SF. TYPE IIB CONSTRUCTION.
B OCCUPANCY 6073SF.
S-1 OCCUPANCY 6531
BUILDING IS NON SPRINKLERED
SEPARATION OF FIRE AREAS:PER IBC CHAPTER 7, TABLE 707.3.10
SEPARATION OF FIRE AREAS OF OCCUPANCY GROUP S-1: 3 HOURS - THESE ITEMS
WILL BE DETAILED AND INCLUDED IN BUILDING CONSTRUCTION DRAWING
SUBMITTALS.
- TREES ALONG FRONTAGE ARE CLEARLY MARKED AS "EXISTING TO REMAIN" OR
"EXISTING TO BE REMOVED" OWNER AGREES TO THE PROPOSED PLAN FOR
EXISTING TREES AS WELL AS THE REQUIREMENTS FOR NEW "STREET TREES"
ALONG FRONTAGE ROADS.
- ALL SIDEWALKS TO BE 5'-0" WIDE PER CENTENNIAL REQUIREMENTS
- ALL PARKING STALLS TO BE 9'-0 X 18'-0

KEYNOTE LEGEND

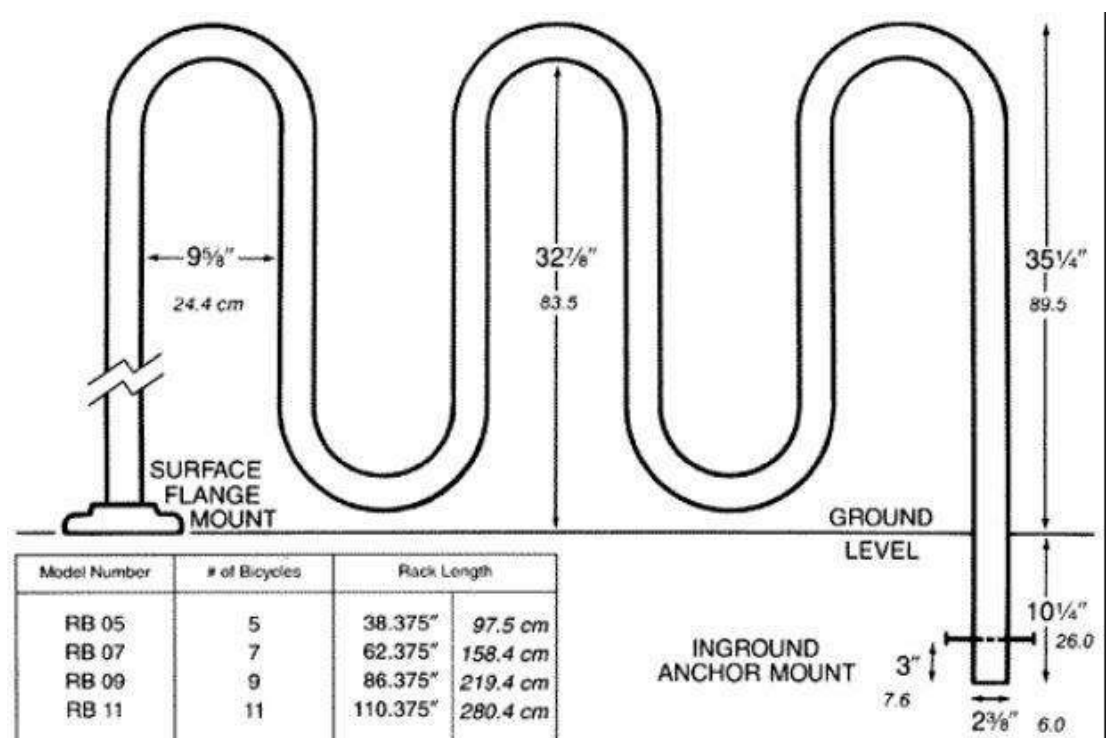
2.02	HOT MIX ASPHALT PAVING
21.11	FIRE HYDRANT RE: CIVIL PLANS
32.02	HOT MIX ASPHALT PAVING
32.03	CEMENT CONCRETE PAVING
32.15	SEGMENTAL RETAINING WALL
32.17	SITE FURNISHING, BENCH
32.18	SITE FURNISHING, WASTE RECEPTACLE
32.19	SITE FURNISHING, BIKE RACK
32.20	STEEL BOLLARD
32.22	EXTERIOR CONCRETE PAVING
33.51	STORM INLET, RE: CIVIL



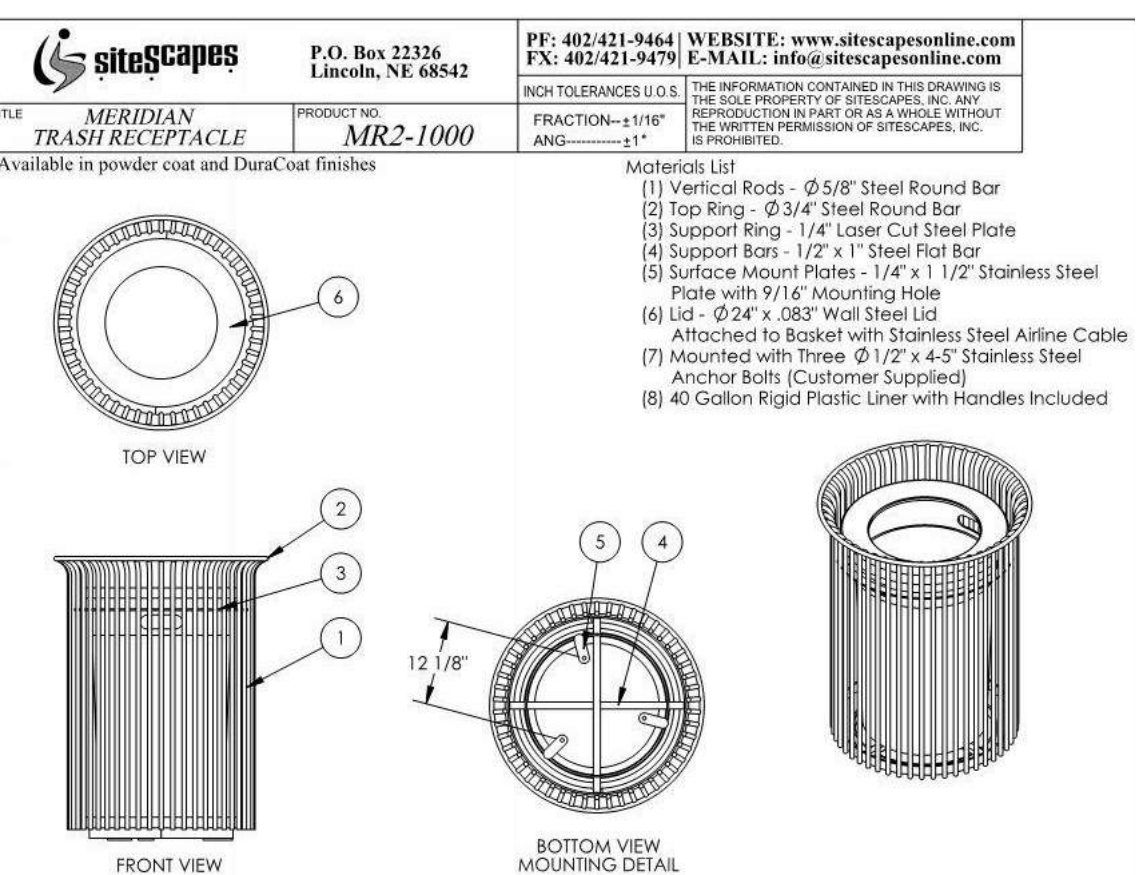
3 ADA PARKING
1/8" = 1'-0"



2 SITE-TRASH ENCLOSURE
1/8" = 1'-0"

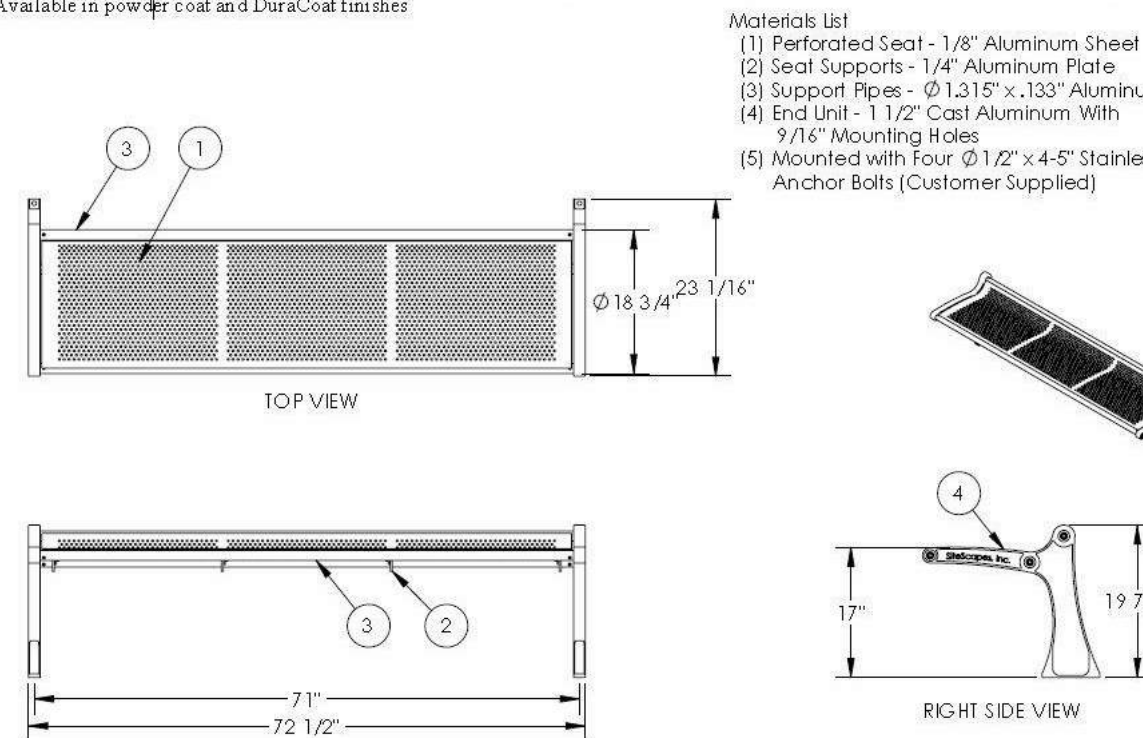


4 BIKE RACK DETAIL
1" = 1'-0"



5 SITE - TRASH BIN
1/4" = 1'-0"

siteScapes
P.O. Box 22326
Lincoln, NE 68542
P.F. 402-421-9464 WEBSITE: www.sitescapesonline.com
FAX: 402-421-9479 E-MAIL: info@sitescapesonline.com
NOVITOLBRANCHES U.S.
PRODUCT NO. CP1-1100
FRACTION: 1/16"
ANG: 1°



6 SITE- PEDESTRIAN BENCH
1/4" = 1'-0"

1 SITE PLAN
1" = 40'-0"

CASE NUMBER:
LU-16-00-168

7 SEGMENTED RETAINING WALL
1/2" = 1'-0"

COLORADO AUTO FINDERS

SITE PLAN

JOB NO. 6042

SCALE As Indicated

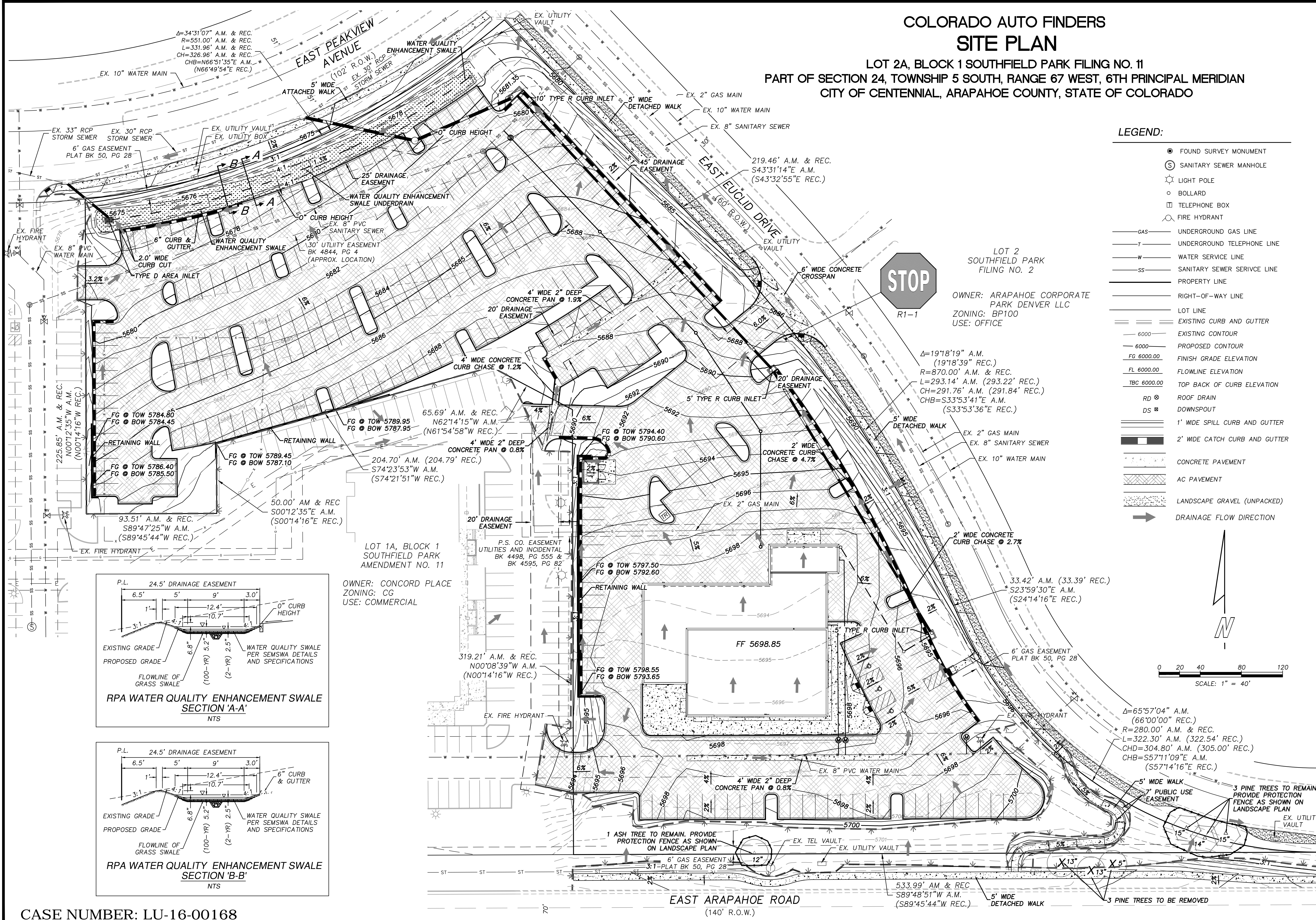
DATE 06/20/2016

SHEET

3

SHEET

14



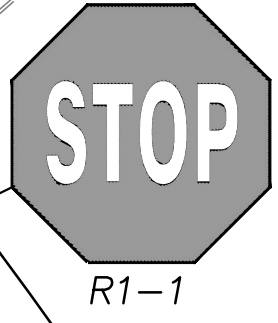
COLORADO AUTO FINDERS
SITE PLAN

LOT 2A, BLOCK 1 SOUTHFIELD PARK FILING NO. 11
PART OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 67 WEST, 6TH PRINCIPAL MERIDIAN
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO

LEGEND:

- FOUND SURVEY MONUMENT
- SANITARY SEWER MANHOLE
- LIGHT POLE
- BOLLARD
- TELEPHONE BOX
- FIRE HYDRANT
- GAS — UNDERGROUND GAS LINE
- T — UNDERGROUND TELEPHONE LINE
- W — WATER SERVICE LINE
- SS — SANITARY SEWER SERVICE LINE
- — PROPERTY LINE
- — RIGHT-OF-WAY LINE
- — LOT LINE
- — EXISTING CURB AND GUTTER
- — EXISTING CONTOUR
- — PROPOSED CONTOUR
- — FINISH GRADE ELEVATION
- — FLOWLINE ELEVATION
- — TOP BACK OF CURB ELEVATION
- — TBC 6000.00
- RD — ROOF DRAIN
- DS — DOWNSPOUT
- — 1' WIDE SPILL CURB AND GUTTER
- — 2' WIDE CATCH CURB AND GUTTER
- — CONCRETE PAVEMENT
- — AC PAVEMENT
- — LANDSCAPE GRAVEL (UNPACKED)
- DRAINAGE FLOW DIRECTION

LOT 2
SOUTHFIELD PARK
FILING NO. 2
OWNER: ARAPAHOE CORPORATE
PARK DENVER LLC
ZONING: BP100
USE: OFFICE



Δ=19°18'19" A.M.
(19°18'39" REC.)
R=870.00' A.M. & REC.
L=293.14' A.M. (293.22' REC.)
CH=291.76' A.M. (291.84' REC.)
CHB=S33°53'41"E A.M.
(S33°53'36"E REC.)

Δ=65°57'04" A.M.
(66°00'00" REC.)
R=280.00' A.M. & REC.
L=322.30' A.M. (322.54' REC.)
CHD=304.80' A.M. (305.00' REC.)
CHB=S57°11'09"E A.M.
(S57°14'16"E REC.)

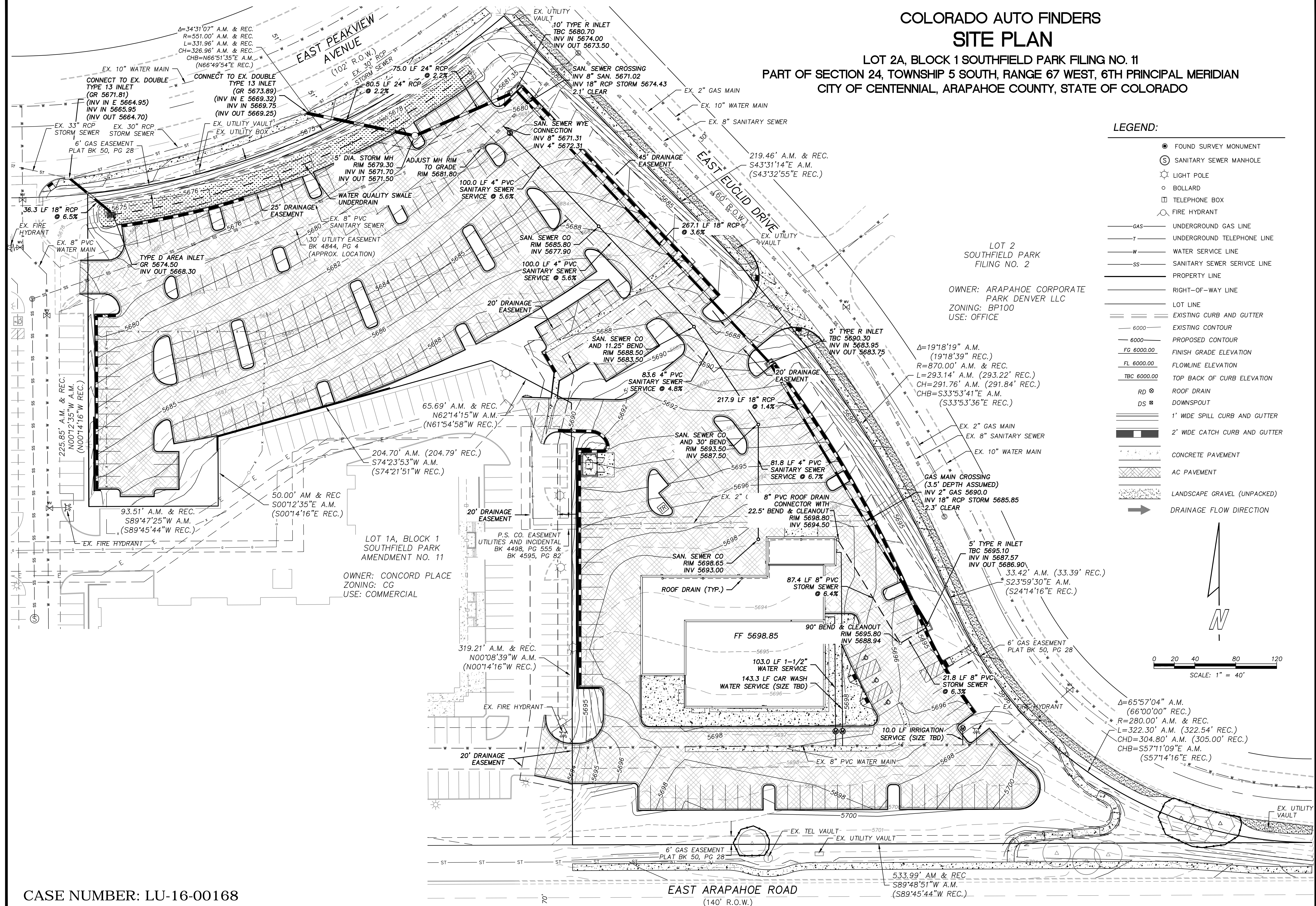
0 20 40 80 120
SCALE: 1" = 40'

COLORADO AUTO FINDERS
SITE PLAN
GRADING AND DRAINAGE PLAN

CIVAS
engineering
civil engineering solutions
10056 Bishane Lane
Littleton • Colorado • 80130
tel 720-240-5882
fax 720-225-6062

JOB NO.
SCALE 1"=30'
DATE JUNE 20, 2016
SHEET 4 TOTAL SHEETS 14

LOT 2A, BLOCK 1 SOUTHFIELD PARK FILING NO. 11
PART OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 67 WEST, 6TH PRINCIPAL MERIDIAN
CITY OF CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



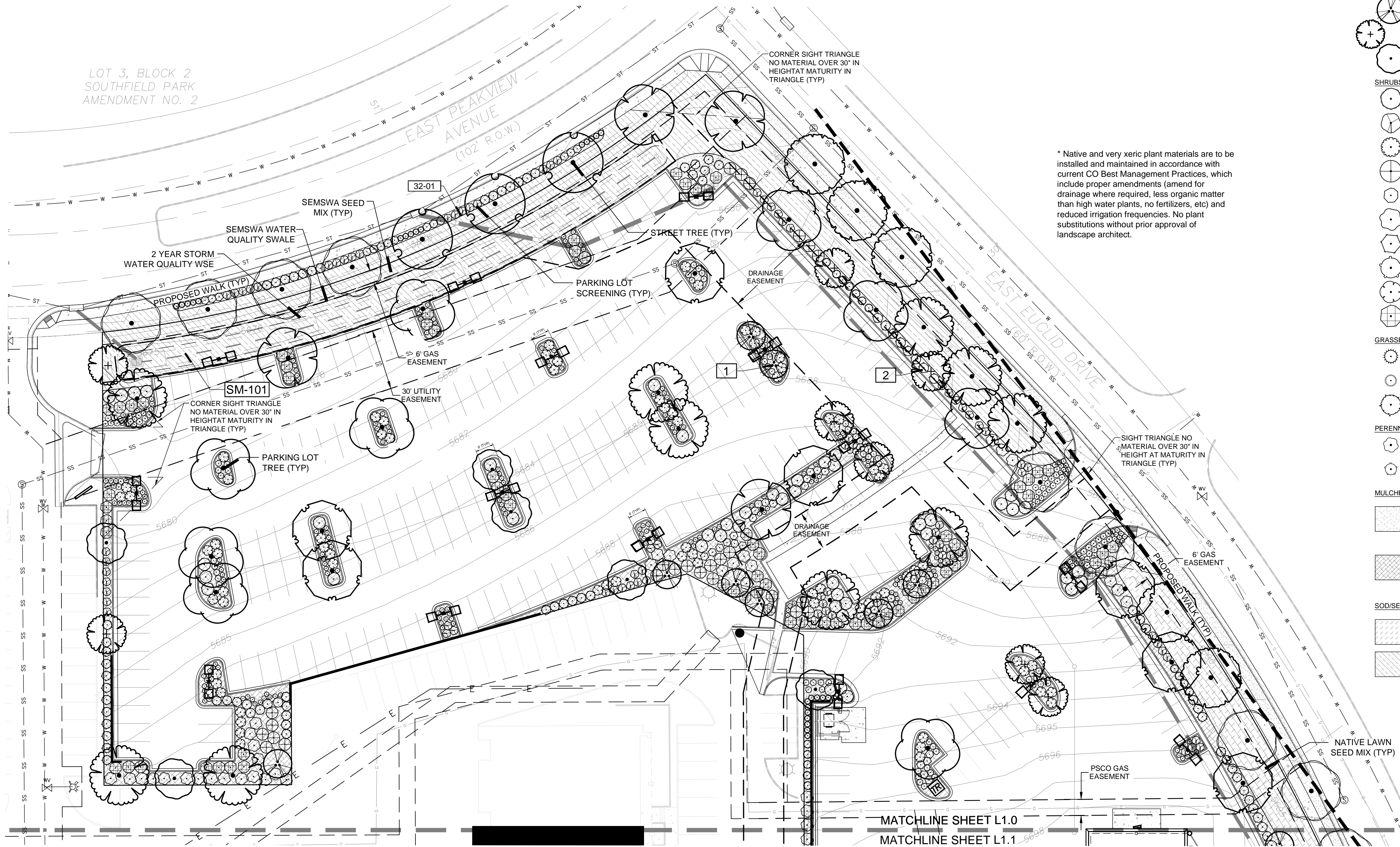
CASE NUMBER: LU-16-00168

	CIVAS engineering		civil engineering solutions		10056 Brisbane Lane Littleton • Colorado • 80130 tel. 720-240-5882 fax. 720-223-6092	
	SHEET NO.		SCALE			
	DATE		1" = 30'			
	BY		JUNE 20, 2016			
	TOTAL SHEETS		5		14	

PLAN NOTES

1. NO SUBSTITUTIONS WITHOUT PREVIOUS APPROVAL OF LANDSCAPE ARCHITECT. UNAPPROVED DEVIATIONS FROM THIS PLAN WILL BE RECTIFIED AT CONTRACTORS EXPENSE.
2. CONTRACTOR TO PROVIDE ANALYSIS OF ANY AMENDMENTS PROPOSED FOR PLANTING AREAS PRIOR TO INSTALLATION OF SUCH MATERIALS.
3. CONTRACTOR TO PROVIDE RECEIPTS TO LANDSCAPE ARCHITECT FOR ALL SEEDING PROPOSED ON SITE, PRIOR TO INSTALLATION OF SEEDING MATERIALS.
4. NO FABRIC UNDER WOOD MULCH IN ANY AREAS. ALL PLANTS IN ROCK MULCH AREAS TO RECEIVE SHREDDED CEDAR MULCH RINGS. MASSING SHALL HAVE CONTINUOUS SHREDDED MULCH BANDS. SEE DETAILS SHEET L2.0.
5. DRIPLINE TO BE PLACED OVER WEED BARRIER FABRIC AND STAKED ON TOP OF WEED BARRIER.
6. WEED BARRIER CUTOUTS FOR PLANTS IN ROCK AREAS SHALL ACCOUNT FOR MATURE SIZE OF PLANTS, AND EQUAL AT LEAST THE DIAMETER OF THE ROOTBALL. SEE DETAILS SHEET L2.0
7. ALL EMITTERS PER IRRIGATION PLAN. EMITTERS TO BE PLACED AT THE APPROPRIATE LOCATIONS. ALL EMITTERS TO USE MICRO TUBING, STAKES, AND BUG CAPS.
8. RETAIN 10% OF ALL PLANT TAGS PER SPECIES FOR DURATION OF WARRANTY PERIOD.

COLORADO AUTOFINDERS
PART OF THE SW 1/4 OF SECTION 10 OF SECTION 24, TOWNSHIP 5
SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



PLANT SCHEDULE

EXISTING TREES		CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
EX-REM		3		REMOVE AS INDICATED / EXISTING TREE TO BE REMOVED	EX	
EX-RET		4		TO REMAIN- Protect during construction / EXISTING TREE TO REMAIN	EX	
LARGE TREES		CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
AG		7	(8%)	Acer grandidentatum / Bigtooth Maple	B & B	2"Cal
CS		11	(12%)	Catalpa speciosa / Northern Catalpa	B & B	2"Cal
CO		10	(11%)	Celtis occidentalis / Common Hackberry	B & B	2"Cal
GTS		8	(9%)	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"Cal
GD		10	(11%)	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	B & B	2"Cal
QM		10	(11%)	Quercus muehlenbergii / Chinkapin Oak	B & B	2"Cal
UC		9	(10%)	Ulmus x 'Frontier' / American Elm	B & B	2"Cal
SMALL TREES		CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
AH		9	(10%)	Acer tataricum 'Hot Wings' / Hot Wings Tatarian Maple	B & B	1.5"Cal
KP		9	(10%)	Koeleruteria paniculata / Golden Rain Tree	B & B	1.5"Cal
PCA		8	(9%)	Pyrus calleryana 'Autumn Blaze' / Autumn Blaze Pear	B & B	1.5"Cal
TOTAL		=91 PROPOSED TREES				
SHRUBS		CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2
AC		48	(8%)	Arctostaphylos x coloradoensis 'Chieftain' / Manzanita	5 gal	
CD		91	(14%)	Caryopteris x clandonensis 'Dark Knight' / Blue Mist Shrub	5 gal	
CIN		26	(4%)	Cercocarpus intricatus / Little Leaf Mountain Mahogany	5 gal	
CMF		51	(8%)	Chamaebatiaria millefolium 'Fembush' / Fembush	5 gal	
MR		64	(10%)	Mahonia repens / Creeping Mahonia	5 gal	
POD		71	(11%)	Physocarpus opulifolius 'Diablo' / Diablo Ninebark	5 gal	
PFG		67	(10%)	Potentilla fruticosa 'Goldfinger' / Goldfinger Potentilla	5 gal	
PB		34	(5%)	Prunus besseyi / Sand Cherry	5 gal	
PBP		87	(14%)	Prunus besseyi 'Pawnee Buttes' / Sand Cherry	5 gal	
RG		94	(14%)	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	
TOTAL		=633 PROPOSED SHRUBS				
GRASSES		CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2
SI		28		Sorghastrum nutans 'Indian Steel' / Indian Grass	1 gal	
SH		211		Sporobolus heterolepis / Prairie Dropseed	1 gal	
SW		76		Sporobolus wrightii / Big Sacaton	1 gal	
TOTAL		=315 PROPOSED GRASSES				
PERENNIALS		CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2
CI		51		Calliopsis involucrata / Wine Cups	1 gal	
OM		56		Oenothera macrocarpa / Evening Primrose	1 gal	
TOTAL		=107 PROPOSED PERENNIALS				
MULCHES		CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	FIELD2
AGG		8,990	sf	AGGREGATE / 2 - 4" 2-4" LOCAL RIVER ROCK. SEE NOTES FOR AND DETAILS FOR PLACEMENT. PLACE AT UNIFORM DEPTH OF 3" OVER PERMEABLE WEED BARRIER FABRIC.	mulch	
WM		21,437	sf	SHREDDED CEDAR MULCH / WOOD MULCH GORILLA HAIR OR SHREDDED REDWOOD MULCH. NO WEED BARRIER UNDER WOOD MULCH AREAS	mulch	
SOD/SEED		CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	FIELD2
NLM		26,721	sf	NATIVE LAWN SEED MIX / PAWNEE BUTTES SEED CO NATIVE LAWN MIX 2-3 LBS PER 1000 SQUARE FEET. IRRIGATED SEED MIX.	seed	
SLG		15,409	sf	SEMSWA LOW-GROWTH DRILL SEEDING MIX SEE SEED MIX SPECIFICATIONS SHEET L1.0	seed	

* ALL PROPOSED PLANTINGS ARE XERIC

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
1	PLACE SHREDDED CEDAR MULCH AROUND BASE OF ALL PERENNIALS AND GRASSES IN LARGE COBBLE AREAS. MASSED PERENNIALS TO RECEIVE LARGE RING AROUND ENTIRE GROUP (TYP).	
2	PLACE PLANTS TO PROVIDE MIN. 2' CLEARANCE FROM BACK OF CURB AT MATURE SPREAD.	
SYMBOL	01 GENERAL DESCRIPTION	QTY
01-01	SEED ALL DISTURBED AREAS WITH NATIVE LAWN MIX UNLESS OTHERWISE NOTED.	
SYMBOL	32 EXTERIOR IMPROVEMENTS DESCRIPTION	QTY
32-01	14 G ROLL TOP STEEL EDGING, STAKED 30" OC MAX.	1,221 LF
SYMBOL	SEED MIXES DESCRIPTION	QTY
SM-101	ALL SEEDED AREAS TO BE AMENDED AND HYDROSEEDED. PLACE EROSION CONTROL MAT ON ALL SLOPES EXCEEDING 4:1.	

LANDSCAPE PLAN

SCALE: 1" = 30'

SEMSWA Low-Growth Drill Seeding Mix					
Species	Variety	Notes	% in Mix	PLSR/AC	
Buffalograss	Texoka	PNWS	20	3.2	
Blue Grama	Hachita	PNWB	20	0.6	
Western Wheatgrass	Amiba	PNCS	20	3.2	
Sideoats Grama	Vaughn	PNWB	20	1.8	
Thickspike Wheatgrass	Critana	PNCS	10	1	
Streambank Wheatgrass	Sodar	PNCS	10	1.2	

SEED MAINTENANCE: MOW NATIVE SEED AREAS ONCE A MONTH OR ONLY WHEN NEEDED TO CONTROL WEEDS OR AT END OF GROWING SEASON. MOW SEED MIX TO 4" HEIGHT AND LET NATIVE SEED MIX GROW TO 8"-16" HEIGHT. HAND PULL WEED OR SPOT WEED USING A BROADLEAF APPLICATION DURING FIRST 3 GROWING SEASONS.

SEED ESTABLISHMENT: KILL EXISTING VEGETATION BY SOLARIZATION. OR WITH A NON-RESIDUAL HERBICIDE. ALLOW SUFFICIENT TIME FOR HERBICIDE TO WORK. IRRIGATE FOR 2-3 WEEKS AND RE-APPLY HERBICIDE TO ANY EMERGING WEEDS. REMOVE DEBRIS, LARGE CLUMPS, ETC. SPREAD ORGANIC MATTER AT 2 CYD PER 1000 SF AND SPECIFIED AMENDMENTS AND TILL INTO TOP 4-6" OF SOIL. SEE NOTE #10 FOR SPECIFICS ON APPLICATION METHOD, SLOPE PROTECTION, ETC. HYDROMULCH AND ENSURE SEEDLINGS DO NOT DRY OUT FOR AT LEAST 45 DAYS BY IRRIGATING FREQUENTLY. SEEDLINGS TO BE IN DAMP SOIL BUT NOT STANDING WATER PROVIDE LESS FREQUENT, DEEP IRRIGATION AFTER SEED EMERGENCE.

Native Lawn Mix	
(90%) Buffalograss (10%) Blue Grama	
Seed @ 2-3 lb / 1000 sf	

DISTURBED AREAS TO BE RESEED WITH NATIVE LAWN MIX UNLESS OTHERWISE NOTED. RE: CIVIL PLANS

SEE SHEET L2.0 FOR SITE
CATEGORY REQUIREMENT
CALCULATIONS

CASE NUMBER: LU-16-00168

COLORADO AUTO FINDERS
LANDSCAPE PLAN ENLARGEMENT

NDS
NATURAL DESIGN SOLUTIONS
Landscape Architecture & Design
5539 Call Drive, Longmont, CO 80503
(303) 443-0388 - nell@ndscolorado.com

JOB NO.

SCALE SEE SHEET

DATE June 20, 2016

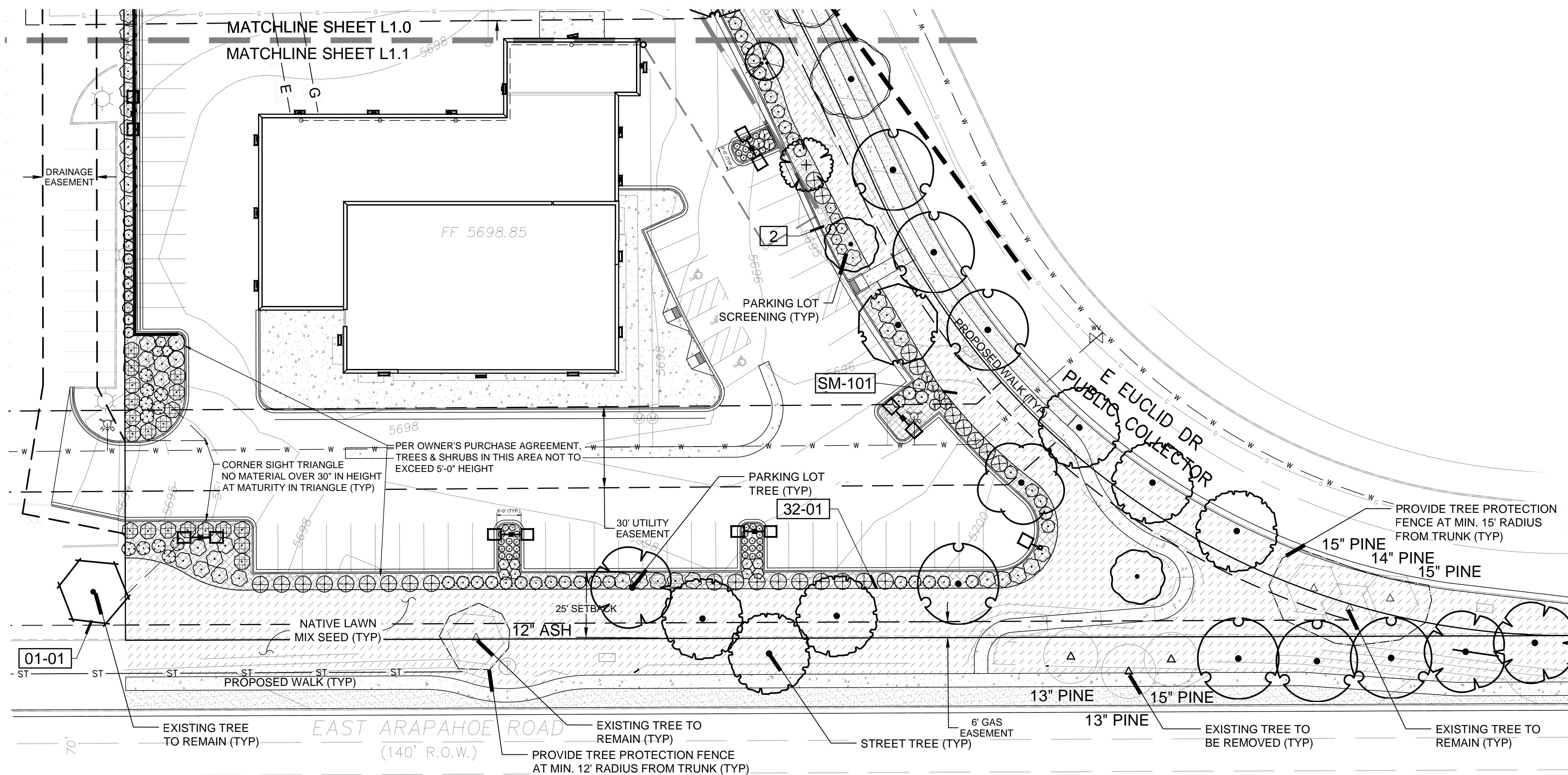
SHEET

6

SHEETS

14

COLORADO AUTOFINDERS
PART OF THE SW 1/4 OF SECTION _ OF SECTION 24, TOWNSHIP 5
SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CITY OF
CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



LANDSCAPE PLAN
SCALE: 1" = 30'

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
[1]	PLACE SHREDDED CEDAR MULCH AROUND BASE OF ALL PERENNIALS AND GRASSES IN LARGE COBBLE AREAS. MASSED PERENNIALS TO RECEIVE LARGE RING AROUND ENTIRE GROUP (TYP).	
[2]	PLACE PLANTS TO PROVIDE MIN. 2' CLEARANCE FROM BACK OF CURB AT MATURE SPREAD.	
[01-01]	01 GENERAL DESCRIPTION SEED ALL DISTURBED AREAS WITH NATIVE LAWN MIX UNLESS OTHERWISE NOTED.	QTY
[32-01]	32 EXTERIOR IMPROVEMENTS DESCRIPTION 14 G ROLL TOP STEEL EDGING, STAKED 30" OC MAX.	1,221 LF
[SM-101]	SEED MIXES DESCRIPTION ALL SEEDED AREAS TO BE AMENDED AND HYDROSEEDED. PLACE EROSION CONTROL MAT ON ALL SLOPES EXCEEDING 4:1.	QTY

* Native and very xeric plant materials are to be installed and maintained in accordance with current CO Best Management Practices, which include proper amendments (amend for drainage where required, less organic matter than high water plants, no fertilizers, etc) and reduced irrigation frequencies. No plant substitutions without prior approval of landscape architect.

SEED MAINTENANCE: MOW NATIVE SEED AREAS ONCE A MONTH OR ONLY WHEN NEEDED TO CONTROL WEEDS OR AT END OF GROWING SEASON. MOW SEED MIX TO A 4" HEIGHT AND LET NATIVE SEED MIX GROW TO 8'-16" HEIGHT. HAND PULL WEED OR SPOT WEED USING A BROADLEAF APPLICATION DURING FIRST 3 GROWING SEASONS.

SEED ESTABLISHMENT: KILL EXISTING VEGETATION BY SOLARIZATION, OR WITH A NON-RESIDUAL HERBICIDE. ALLOW SUFFICIENT TIME FOR HERBICIDE TO WORK, IRRIGATE FOR 2-3 WEEKS AND RE-APPLY HERBICIDE TO ANY EMERGING WEEDS. REMOVE DEBRIS, LARGE CLUMPS, ETC. SPREAD ORGANIC MATTER AT 2 CYD PER 1000 SF AND SPECIFIED AMENDMENTS AND TILL INTO TOP 4-6" OF SOIL. SEE NOTE #10 FOR SPECIFICS ON APPLICATION METHOD, SLOPE PROTECTION, ETC. HYDROMULCH AND ENSURE SEEDLINGS DO NOT DRY OUT FOR AT LEAST 45 DAYS BY IRRIGATING FREQUENTLY. SEEDLINGS TO BE IN DAMP SOIL BUT NOT STANDING WATER PROVIDE LESS FREQUENT, DEEP IRRIGATION AFTER SEED EMERGENCE.

SEMSWA Low-Growth Drill Seeding Mix				
Species	Variety	Notes	% in Mix	PLS#/AC
Buffalograss	Texoka	PNW/S	20	3.2
Blue Grama	Hachita	PNW/B	20	0.6
Western Wheatgrass	Arriba	PNC/S	20	3.2
Sideoats Grama	Vaughn	PNW/B	20	1.8
Thickspike Wheatgrass	Critana	PNC/S	10	1
Streambank Wheatgrass	Sodar	PNC/S	10	1.2

Native Lawn Mix	
(90%) Buffalograss	
(10%) Blue Grama	
Seed @ 2-3 lb / 1000 sf	
DISTURBED AREAS TO BE RESEEDED WITH NATIVE LAWN MIX UNLESS OTHERWISE NOTED. RE: CIVIL PLANS	

PLAN NOTES

- NO SUBSTITUTIONS WITHOUT PREVIOUS APPROVAL OF LANDSCAPE ARCHITECT. UNAPPROVED DEVIATIONS FROM THIS PLAN WILL BE RECTIFIED AT CONTRACTORS EXPENSE.
- CONTRACTOR TO PROVIDE ANALYSIS OF ANY AMENDMENTS PROPOSED FOR PLANTING AREAS PRIOR TO INSTALLATION OF SUCH MATERIALS.
- CONTRACTOR TO PROVIDE RECEIPTS TO LANDSCAPE ARCHITECT FOR ALL SEEDING PROPOSED ON SITE, PRIOR TO INSTALLATION OF SEEDING MATERIALS.
- NO FABRIC UNDER WOOD MULCH IN ANY AREAS. ALL PLANTS IN ROCK MULCH AREAS TO RECEIVE SHREDDED CEDAR MULCH RINGS. MASSING SHALL HAVE CONTINUOUS SHREDDED MULCH BANDS. SEE DETAILS SHEET L2.0.
- DRIPLINE TO BE PLACED OVER WEED BARRIER FABRIC AND STAKED ON TOP OF WEED BARRIER.
- WEED BARRIER CUTOUPS FOR PLANTS IN ROCK AREAS SHALL ACCOUNT FOR MATURE SIZE OF PLANTS, AND EQUAL AT LEAST THE DIAMETER OF THE ROOTBALL. SEE DETAILS SHEET L2.0
- ALL EMITTERS PER IRRIGATION PLAN. EMITTERS TO BE PLACED AT THE APPROPRIATE LOCATIONS. ALL EMITTERS TO USE MICRO TUBING, STAKES, AND BUG CAPS.
- RETAIN 10% OF ALL PLANT TAGS PER SPECIES FOR DURATION OF WARRANTY PERIOD.

PLANT SCHEDULE

EXISTING TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
	EX-REM	3	REMOVE AS INDICATED / EXISTING TREE TO BE REMOVED	EX	
	EX-RET	4	TO REMAIN- Protect during construction / EXISTING TREE TO REMAIN	EX	
LARGE TREES					
	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
	AG	7	Acer grandidentatum / Bigtooth Maple	B & B	2"Cal
	CS	11	Catalpa speciosa / Northern Catalpa	B & B	2"Cal
	CO	10	Celtis occidentalis / Common Hackberry	B & B	2"Cal
	GTS	8	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"Cal
	GD	10	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	B & B	2"Cal
	QM	10	Quercus muehlenbergii / Chinkapin Oak	B & B	2"Cal
	UC	9	Ulmus x 'Frontier' / American Elm	B & B	2"Cal
SMALL TREES					
	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL
	AH	9	Acer tataricum 'Hot Wings' / Hot Wings Tatarian Maple	B & B	1.5"Cal
	KP	9	Koelreuteria paniculata / Golden Rain Tree	B & B	1.5"Cal
	PCA	8	Pyrus calleryana 'Autumn Blaze' / Autumn Blaze Pear	B & B	1.5"Cal
	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2
	AC	48	Arctostaphylos x coloradoensis 'Chieftain' / Manzanita	5 gal	
	CD	91	Caryopteris x clandonensis 'Dark Knight' / Blue Mist Shrub	5 gal	
	CIN	26	Cercocarpus intricatus / Little Leaf Mountain Mahogany	5 gal	
	CMF	51	Chamaebatiaria millefolium 'Fernbush' / Fernbush	5 gal	
	MR	64	Mahonia repens / Creeping Mahonia	5 gal	
	POD	71	Physocarpus opulifolius 'Diablo' / Diablo Ninebark	5 gal	
	PFG	67	Potentilla fruticosa 'Goldfinger' / Goldfinger Potentilla	5 gal	
	PB	34	Prunus besseyi / Sand Cherry	5 gal	
	PBP	87	Prunus besseyi 'Pawnee Buttes' / Sand Cherry	5 gal	
	RG	94	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	
	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2
	SI	28	Sorghastrum nutans 'Indian Steel' / Indian Grass	1 gal	
	SH	211	Sporobolus heterolepis / Prairie Dropseed	1 gal	
	SW	76	Sporobolus wrightii / Big Sacaton	1 gal	
	CODE	QTY	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2
	CI	51	Callirhoe involucrata / Wine Cups	1 gal	
	OM	56	Oenothera macrocarpa / Evening Primrose	1 gal	
	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	FIELD2
	AGG	8,990 sf	AGGREGATE / 2 - 4" 2-4" LOCAL RIVER ROCK. SEE NOTES FOR AND DETAILS FOR PLACEMENT. PLACE AT UNIFORM DEPTH OF 3" OVER PERMEABLE WEED BARRIER FABRIC.	mulch	
	WM	21,437 sf	SHREDDED CEDAR MULCH / WOOD MULCH GORRILA HAIR OR SHREDDED REDWOOD MULCH. NO WEED BARRIER UNDER WOOD MULCH AREAS	mulch	
	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONT	FIELD2
	NLM	26,721 sf	NATIVE LAWN SEED MIX / PAWNEE BUTTES SEED CO NATIVE LAWN MIX 2-3 LBS PER 1000 SQUARE FEET. IRRIGATED SEED MIX.	seed	
	SLG	15,409 sf	SEMSWA LOW-GROWTH DRILL SEEDING MIX SEE SEED MIX SPECIFICATIONS SHEET L1.0	seed	
* ALL PROPOSED PLANTINGS ARE XERIC					

SEE SHEET L2.0 FOR SITE
CATEGORY REQUIREMENT
CALCULATIONS

CASE NUMBER: LU-16-00168

COLORADO AUTO FINDERS
LANDSCAPE PLAN ENLARGEMENT

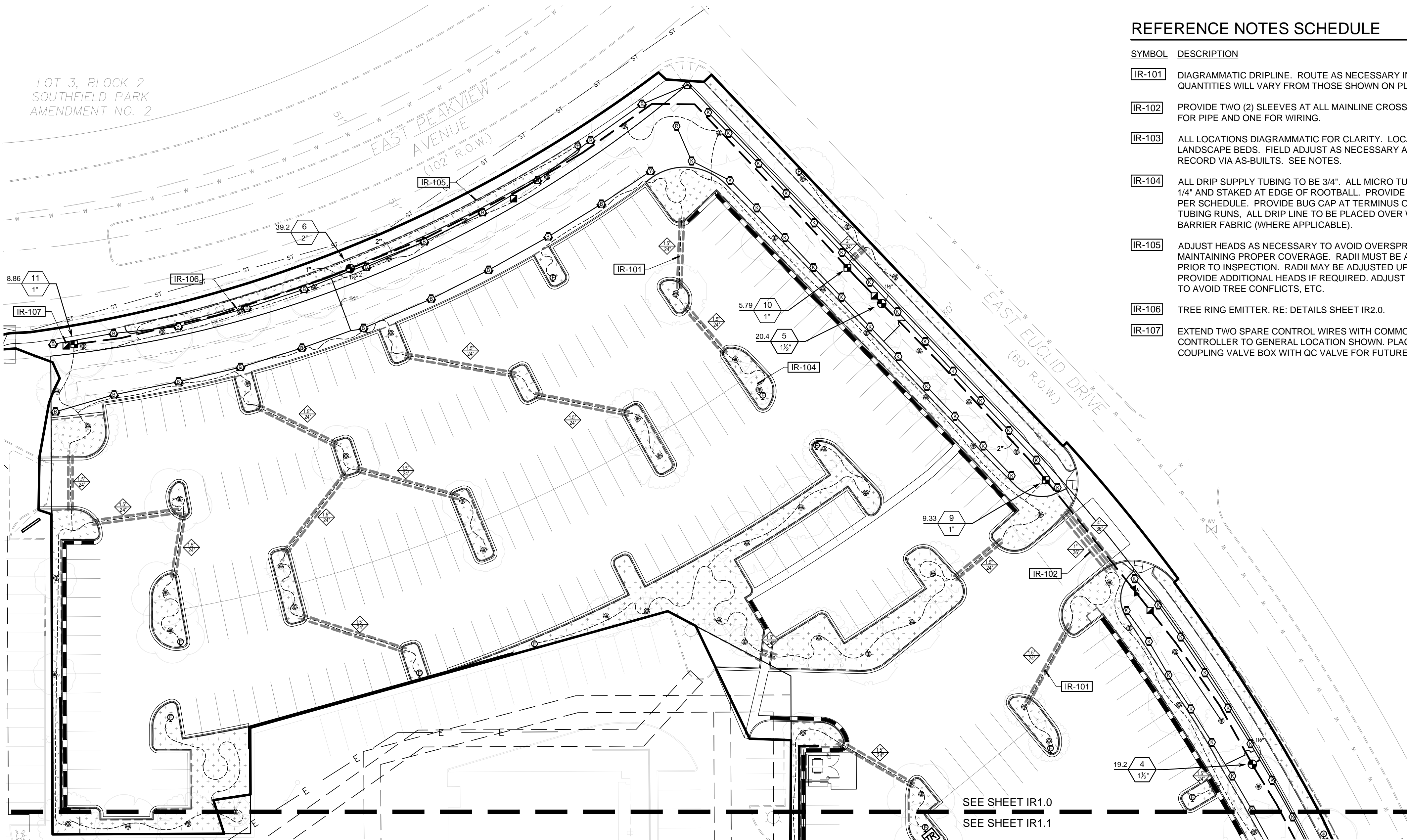
NDS
NATURAL DESIGN SOLUTIONS
Landscape Architecture & Design
5539 Cal Drive, Longmont, CO 80503
(303) 443-0388 • nell@ndscolorado.com

JOB NO.
SCALE SEE SHEET
DATE June 20, 2016
SHEET 7 SHEETS 14

14

COLORADO AUTOFINDERS
PART OF THE SW 1/4 OF SECTION _OF SECTION 24, TOWNSHIP 5
SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,CITY OF
CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO

LOT 3, BLOCK 2
SOUTHFIELD PARK
AMENDMENT NO. 2



IRRIGATION PLAN

SCALE: 1" = 30'

IRRIGATION NOTES

Note: QUANTITIES ARE LISTED FOR REFERENCE ONLY. CONTRACTOR TO USE GRAPHIC QUANTITIES TO DETERMINE TOTAL EQUIPMENT TYPES AND QUANTITIES. (SEE PLAN GRAPHIC AND EQUIPMENT SCHEDULE). PROVIDE ADDITIONAL IRRIGATION LABOR & COMPONENTS TO PROVIDE HEAD TO HEAD COVERAGE IN THE FIELD FOR ALL SODDED IRRIGATION ZONES AND (90%) OF HEAD TO HEAD COVERAGE FOR SEEDED TURFGRASS AND DRIP TO ALL PLANTINGS.

- THE IRRIGATION SYSTEM P.O.C. TO BE LOCATED IN THE LANDSCAPE OFF OF THE EXISTING NON-POTABLE WATER SUPPLY OR IN SEPARATE METER PIT AS SHOWN PER PLAN. CONNECT TO 1.5" POINT OF CONNECTION (w/ WATTS 223-HP PRV VALVE for Meter Pits Only) AND MINIMUM STATIC WATER PRESSURE OF 75 PSI. CONNECTION IS ASSUMED TO PROVIDE MINIMUM 45 GPM. COORDINATE WITH OWNER'S REPRESENTATIVE AND OTHER TRADES TO ESTABLISH WATER CONNECTION AT LOCATION SHOWN AND ALL SLEEVING INSTALLED. NOTIFY DESIGN OF ANY DEVIATIONS IN PRESSURE OR GPM. FAILURE TO NOTIFY LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR ASSUMING LIABILITY FOR ANY UNAUTHORIZED CHANGES MADE.
- THE SYSTEM CONTROLLER IS TO BE A INTERIOR WALL MOUNT IN GENERAL LOCATION SHOWN. COORDINATE LOCATION OF CONTROLLER AND WEATHER STATION WITH OWNER. CONNECT CONTROLLER TO POWER SUPPLY (COORDINATE WITH OWNER), ZONE VALVE WIRES, RAIN SENSOR, AND GROUNDING. INSTALL AS PER MANUFACTURER'S INSTRUCTIONS. PROVIDE LIGHTNING PROTECTION FOR ALL CONTROLLERS (TYPICAL).
- COORDINATE ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY DIGGING ON SITE. ALL MATERIALS AND INSTALLATION PRACTICES ARE TO BE IN COMPLIANCE WITH LOCAL CODES.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ALL IRRIGATION SLEEVING REQUIRED TO PERFORM WORK AS SHOWN PER PLAN. SLEEVING FOR LATERAL LINES IS TO BE 24" UNDERGROUND. MAINLINE SLEEVING TO BE 36" UNDERGROUND. ALL SLEEVING IS TO EXTEND 18" BEYOND EDGE OF CONCRETE OR ASPHALT. ENDS OF SLEEVING ARE TO BE SECURELY COVERED AFTER INSTALLATION. SLEEVE LOCATIONS ARE TO BE CLEARLY MARKED/STAMPED. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SLEEVING LOCATIONS PRIOR TO CONSTRUCTION AND INSTALL ANY MISSING SLEEVES, IF NECESSARY.
- ALL SPRINKLER HEADS SHALL BE INSTALLED WITH THE TOP OF HEADS FLUSH WITH SURROUNDING FINAL GRADE. CONTRACTOR IS TO ADJUST EACH SPRINKLER HEAD TO PROVIDE OPTIMAL COVERAGE. OVERSPRAY ONTO PAVEMENT OR WALLS IS TO BE MINIMIZED. CONTRACTOR IS TO ADJUST AND SELECT NOZZLES TO PROVIDE UNIFORM COVERAGE. PROVIDE PRESSURE COMPENSATING NOZZLES OR SCREENS IF UNIFORM PRESSURE CANNOT BE ACHIEVED BY ADJUSTING PRESSURE AT VALVES. CONTRACTOR TO REPAIR ALL IRRIGATION EROSION/GULLIES IN SEEDED AREAS FORMED BY SPRAY AND GEAR HEADS FOR THE FIRST 45 DAYS AFTER FINAL APPROVAL IS PROVIDED BY THE OWNER OR LANDSCAPE ARCHITECT.
- IRRIGATION PLAN IS DIAGRAMMATIC. ANY COMPONENTS SHOWN ON PLAN OUTSIDE OF LANDSCAPE ARE SHOWN FOR CLARITY ONLY. USE ONLY STANDARD FITTINGS. MAINLINE PIPING DEPTH IS TO BE 24". LATERAL LINE DEPTH IS TO BE 12". POLY DRIP LINE IS TO BE SECURED AT FINAL SOIL GRADE. POLY LINE SHALL BE COMPLETELY COVERED WITH MULCH WITH NO LINE EXPOSED. GRAPHIC QTY'S. PREVAIL OVER WRITTEN QTY'S. INSTALL MAINLINE AND LATERALS AS CLOSE TO CURBS AND SIDEWALKS AS POSSIBLE TO ALLOW FOR MORE PLANTING ROOM.
- CONTRACTOR IS TO INSTALL #14 UF IRRIGATION WIRE BETWEEN CONTROLLER AND ELECTRIC VALVES.
- INSTALL THREE EXTRA WIRES FROM THE CONTROLLER ALONG THE MAINLINE IN EACH DIRECTION FROM THE CONTROLLER FOR TROUBLE SHOOTING AND FUTURE ADDITIONS. ADDITIONAL WIRES TO BE PLACED IN A 6" VALVE BOX FOR EASY FUTURE ACCESS.
- NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLAN DRAWINGS AND CONDITIONS IN THE FIELD PRIOR TO INSTALLATION OF ANY IRRIGATION COMPONENTS.
- CONTRACTOR TO KEEP POP-UP SPRAY OR GEAR DRIVE HEADS A MIN. OF 5' AWAY FROM THE BUILDING OR AS NOTED BY THE SOILS ENGINEERS REPORT. THE MOST STRINGENT REQUIREMENT SHALL PREVAIL. ENSURE THAT POSITIVE DRAINAGE IS PROVIDED AND THAT NO IRRIGATION COMPONENTS NEGATIVELY IMPACT HARD SURFACES AND/OR BUILDING FOUNDATIONS.
- CONTRACTOR TO PROVIDE A ONE YEAR WARRANTY ON ALL IRRIGATION PARTS AND WORKMANSHIP. CONTRACTOR IS TO PROVIDE AS-BUILT DRAWINGS TO OWNER ALONG WITH QUICK-COUPLER KEYS WITHIN 30 DAY OF FINAL ACCEPTANCE FROM OWNER OR LANDSCAPE ARCHITECT.
- THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER IRRIGATION MAINTENANCE OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, IRRIGATION HEAD REPLACEMENT, RAIN SENSOR ADJUSTMENT, IRRIGATION CONTROLLER ADJUSTMENTS, DRIP IRRIGATION MAINTENANCE AND VERIFICATION THAT ALL LANDSCAPE AREAS ARE NOT OVER-WATERED OR UNDER-WATERED. ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION- 1996. OWNER SHOULD CONTACT THE LANDSCAPE MAINTENANCE CONTRACTOR, LANDSCAPE CONSTRUCTION CONTRACTOR, OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.
- SHOULD LOCAL UTILITIES, WATER OR SPECIAL DISTRICTS DESIGNATE SPECIFIC WATER CONTROLS, IRRIGATION SCHEDULES SHALL BE ADJUSTED PURSUANT TO JURISDICTION REQUIREMENTS.
- ADJUST IRRIGATION ZONE RUN TIMES WITH SEASONAL CONDITIONS. REDUCE RUN TIMES ACCORDING TO SEASONAL ADJUSTMENT SCHEDULE AND BASED ON SMART CONTROLLER ADJUSTMENTS (EXCEPT FOR RUN TIMES).
- PROVIDE DRIP IRRIGATION TO ALL EXISTING TREES AND SHRUBS IMPACTED BY CONSTRUCTION. PROVIDE ONE-HALF THE AMOUNT OF EMITTER DEVICES THAT ARE DESIGNATED FOR NEW PLANT MATERIAL.
- DRIP ZONES REQUIRE PRESSURE REGULATORS AND FILTERS WITH A MIN. 150 MESH SCREEN OR APPROVED EQUAL.
- PRESSURE COMPENSATING EMITTER OR APPROVED EQUAL MAY BE USED WITH MICRO-TUBING AND INSECT CAPS TO DIRECT WATER TO AREAS THAT REQUIRE SPOT IRRIGATION.
- LINE FLUSHING VALVES ARE TO BE LOCATED AT THE END OF EACH DRIP ZONE. INSTALL IN A 6" VALVE BOX W/ FILTER FABRIC & 4" OF CLEAN GRAVE BELOW EACH VALVE.
- USE MICRO-SPRAY EMISSION DEVICES OR DRIFLINE FOR IRRIGATION OF ALL ANNUAL AND GROUND COVER BEDS. LOCATED ON FLEXIBLE RISERS/STAKES. ADJUST SPRAY OUTPUT FOR PLANT COMMUNITY WATER INTAKE REQUIREMENTS.
- NEW SOD WATER REQUIREMENTS: 1" OF WATER/DAY FOR 7 DAYS. TOTAL AMOUNT SPLIT UP OVER 4 TO 5 WATERING PERIODS. DURING WARMER PERIODS APPLY 1.25-1.50"/DAY. AFTER WEEK 2 APPLY 1/4" TO 1/2" PER DAY FOR 9 DAYS. SPLIT UP OVER 1 TO 3 WATERING PERIODS/DAY. IF WATERING RESTRICTIONS ALLOW WATER 1/4"/DAY EVERY OTHER DAY FOR 7 DAYS. AFTER TURF ESTABLISHMENT TIME REFER TO SCHEDULE AND LOCAL RESTRICTIONS FOR RUN TIMES.
- MOVE SPRINKLER HEADS OR TREE LOCATIONS IF SPRAY OR GEAR DRIVE HEADS ARE IN CONFLICT WITH ONE ANOTHER (I.e., within 5' of sprinkler head).
- US HARCO SCH 40 RATED FITTINGS FOR ALL SYSTEMS. USE EPOXY DUCTILE IRON FITTINGS AND ADJUSTABLE PIPE CLAMPS FOR SYSTEMS USING OVER 80 PSI AT POINT.

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
IR-101	DIAGRAMMATIC DRIPLINE. ROUTE AS NECESSARY IN FIELD. QUANTITIES WILL VARY FROM THOSE SHOWN ON PLAN.
IR-102	PROVIDE TWO (2) SLEEVES AT ALL MAINLINE CROSSINGS--ONE FOR PIPE AND ONE FOR WIRING.
IR-103	ALL LOCATIONS DIAGRAMMATIC FOR CLARITY. LOCATE IN LANDSCAPE BEDS. FIELD ADJUST AS NECESSARY AND PROVIDE RECORD VIA AS-BUILTS. SEE NOTES.
IR-104	ALL DRIP SUPPLY TUBING TO BE 3/4". ALL MICRO TUBING TO BE 1/4" AND STAKED AT EDGE OF ROOTBALL. PROVIDE EMITTERS PER SCHEDULE. PROVIDE BUG CAP AT TERMINUS OF ALL MICRO TUBING RUNS. ALL DRIP LINE TO BE PLACED OVER WEED BARRIER FABRIC (WHERE APPLICABLE).
IR-105	ADJUST HEADS AS NECESSARY TO AVOID OVERSPRAY WHILE MAINTAINING PROPER COVERAGE. RADII MAY BE ADJUSTED UP TO 25%. PROVIDE ADDITIONAL HEADS IF REQUIRED. ADJUST LOCATIONS TO AVOID TREE CONFLICTS, ETC.
IR-106	TREE RING EMITTER. RE: DETAILS SHEET IR2.0.
IR-107	EXTEND TWO SPARE CONTROL WIRES WITH COMMON FROM CONTROLLER TO GENERAL LOCATION SHOWN. PLACE IN QUICK COUPLING VALVE BOX WITH QC VALVE FOR FUTURE EXPANSION.

IRRIGATION SCHEDULE

CONFIRM ALL QTY'S. SF AND LF WITH ACTUAL PLAN GRAPHIC. PLAN GRAPHIC INFORMATION SUPERSEDES SCHEDULE INFORMATION.			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	HUNTER MP1000 PROS-06-CV TURF ROTATOR, 6" (15.24 CM) POP-UP WITH CHECK VALVE. PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.	5	40
	HUNTER MP2000 PROS-06-CV TURF ROTATOR, 6" (15.24 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	95	40
	HUNTER MP3000 PROS-06-CV TURF ROTATOR, 6" (15.24 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.	57	40
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE, 1" PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR. 30PM - 150GPM. USE LOW FLOW MODEL FOR FLOWS UNDER 3 GPM	5	
	FLUSH VALVE 3/4" PVC BALL VALVE IN 10" VALVE BOX.	15	
	TREE RING EMITTERS PROVIDE DRIP TREE RING EMITTER PER DETAILS SHEET IR2.0.	90	
	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XB-PC SINGLE OUTLET. PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5GPH=BLUE, 1.0GPH=BLACK, AND 2.0GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: Perennials to receive one of 0.5 GPH emitters Grasses to receive one of 1.0 GPH emitters Shrubs to receive two of 1.0 GPH emitters Trees to receive to receive tree drip ring emitter per details sheet	27,307 S.F.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD PEB-PRS-D 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION. WITH PRESSURE REGULATOR MODULE.	6	
	RAIN BIRD 5-LRC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 1-PIECE BODY.	9	
	NIBCO T-113-K CLASS 125 BRONZE GATE SHUT OFF VALVE WITH CROSS HANDLE. SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE - 1/4" - 3"	3	
	RAIN BIRD PEB-PRS-D 1-1/2" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION. WITH PRESSURE REGULATOR MODULE.	1	
	MANUAL DRAIN VALVE PROVIDE 10" ROUND BOX WITH 2" VALVE MARKER. PVC ACCESS SLEEVE, AND MINIMUM 6" DEPTH 3/4" WASHED RIVER ROCK SUMP FOR DRAINAGE. PROVIDE 3/4" MXF SCH 40 PVC 90 ELL AND 3/4" X 4" SCH 80 PVC NIPPLE TO SUMP FOR DRAINAGE. USE TEFLON TAPE ON ALL MALE THREADED PVC AND AND ALL NIPPLES	1	
	FEBCO 825YA 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER	1	
	RAIN BIRD ESP8LXMEF WITH (02) ESPLXMSM4 16 STATION COMMERCIAL CONTROLLER. MOUNTED ON A PLASTIC WALL MOUNT. FLOW SENSING AND WATER MANAGEMENT CAPABILITIES.	1	
	RAIN BIRD WR2-RC WIRELESS RAIN SENSOR COMBO, INCLUDES 1 RECEIVER AND 1 RAIN SENSOR TRANSMITTER.	1	
	RAIN BIRD FS-150-P 1-1/2" FLOW SENSOR FOR USE WITH RAIN BIRD MAXICOM, SITECONTROL, AND ESP-LXD CENTRAL CONTROL SYSTEMS. PLASTIC (PVC) MODEL. SUGGESTED OPERATING RANGE OF 5.0 GPM TO 100.0 GPM. SENSORS SHOULD BE SIZED FOR FLOW RATHER THAN PIPE SIZE.	1	
	GUARDSHACK EC-2 GUARDSHACK ECONOGATE, WITH EP-1 AND FG-1. INSTALL PER MANUFACTURER REQUIREMENTS AND VERIFY LOOKING HARDWARE PRIOR TO TURNOVER.	1	
	POINT OF CONNECTION 1-1/2" CONNECT TO POTABLE DOMESTIC LINE. COORDINATE WITH CIVIL/MECHANICAL.	1	
	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26 PVC CLASS 315 FOR 1/2" PIPE. PVC CLASS 200 FOR 3/4" PIPE. PVC CLASS 160 SDR 26 FOR 1" AND ABOVE. ONLY LATERAL TRANSITION PIPE SIZES 1 1/4" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 1" IN SIZE.	3,447 L.F.	
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE.	1,378 L.F.	
	PIPE SLEEVE: PVC SCHEDULE 40 SEE NOTES AND SPECIFICATIONS FOR DEPTHS. EXTEND MIN 18" BEYOND EDGE OF PAVEMENT AND MARK IN FIELD.	753.7 L.F.	
	Valve Callout Valve Number Valve Flow Valve Size		
	SLEEVE SIZE SLEEVE DEPTH		
Provide separate 1" wire sleeve along all mainline crossings, of equal length to pipe sleeve			

CASE NUMBER: LU-16-00168

COLORADO AUTO FINDERS

SCHEMATIC IRRIGATION PLAN

NDS
NATURAL DESIGN SOLUTIONS
Landscape Architecture
Land Planning · Irrigation Design
5539 Cott Drive, Longmont, CO 80503
(303) 443-0388 · nel@ndscolorado.com

JOB NO.

SCALE

SEE SHEET

DATE

June 20, 2016

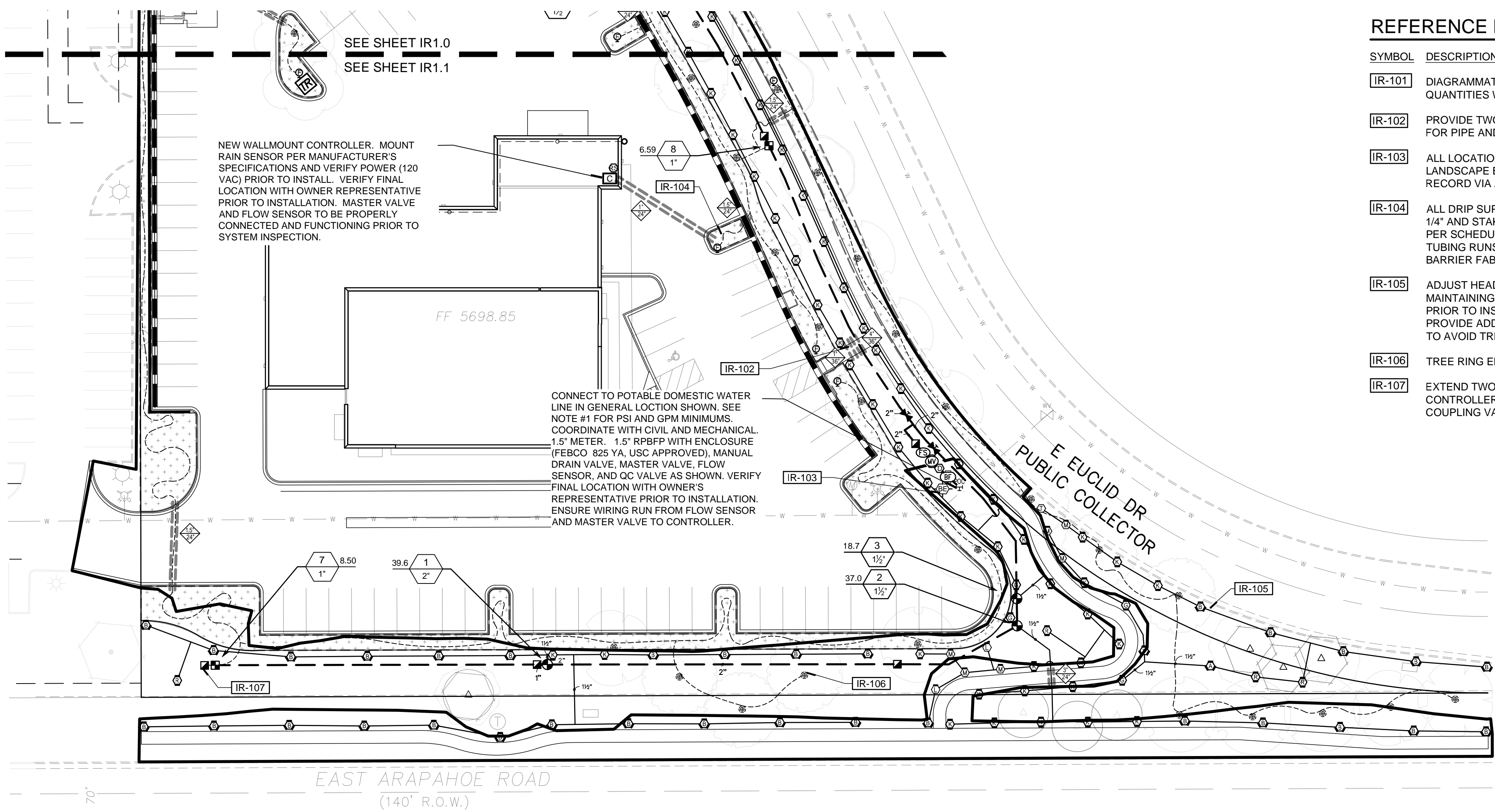
SHEET

9

SHEETS

14

COLORADO AUTOFINDERS
PART OF THE SW 1/4 OF SECTION _OF SECTION 24, TOWNSHIP 5
SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,CITY OF
CENTENNIAL, ARAPAHOE COUNTY, STATE OF COLORADO



IRRIGATION PLAN

SCALE: 1" = 30'

CRITICAL ANALYSIS

Generated: 2016-09-22 08:04
P.O.C. NUMBER: 01
Water Source Information: CONNECT TO POTABLE DOMESTIC LINE.
COORDINATE WITH CIVIL/MECHANICAL.

FLOW AVAILABLE
Point of Connection Size: 1-1/2"
Flow Available: 47.66 gpm

PRESSURE AVAILABLE
Static Pressure at POC: 75.00 psi
Pressure Available: 75.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 39.59 gpm
Flow Available at POC: 47.66 gpm
Residual Flow Available: 8.07 gpm

Pressure Req. at Critical Station: 46.17 psi
Loss for Fittings: 0.75 psi
Loss for Main Line: 7.53 psi
Loss for POC to Valve Elevation: 2.60 psi
Loss for Backflow: 11.78 psi
Loss for Master Valve: 3.51 psi
Critical Station Pressure at POC: 72.38 psi
Pressure Available: 75.00 psi
Residual Pressure Available: 2.62 psi

CONFIRM MINIMUM PRESSURE OF 75
PSI PRIOR TO COMMENCING WORK

Brand all appropriate box lids with 1" minimum letters with the following
abbreviations:
QC Quick Coupler
GV Gate Valve
SV# Section Valve & Corresponding Controller Station #
MCV Master Control Valve
FS Flow Sensor
FP Drip Flush Point

A SEASONAL MAINTENANCE SCHEDULE SHALL BE
PERFORMED ON THE IRRIGATION SYSTEMS AND
SHALL CONSIST OF THE FOLLOWING ITEMS:

- CHECK HEADS FOR COVERAGE AND LEAKAGE
- REPLACE ALL BROKEN HEADS
- RE-PROGRAM CONTROLLERS MONTHLY OR MORE OFTEN IF NECESSARY ACCORDING TO THE SEASONAL NEEDS
- VERIFY THAT THE WATER SUPPLY AND PRESSURE ARE AS STATED IN THE DESIGN
- INSPECT THE BACKFLOW PREVENTION DEVICE TO DETERMINE IF IT IS WORKING CORRECTLY
- PERIODICALLY VERIFY THAT SENSORS IN THE IRRIGATION SYSTEM ARE WORKING PROPERLY
- CHECK VALVES TO MAKE SURE THEY ARE FUNCTIONING PROPERLY
- CHECK HEADS AND EMITTERS FOR DEBRIS
- ENSURE DRIP EMITTERS ARE NOT BROKEN OR CLOGGED
- ADJUST COMPONENTS AS NECESSARY OR AS PLANT GROWTH DICTATES

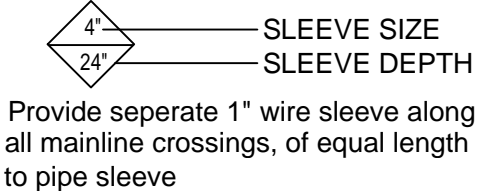
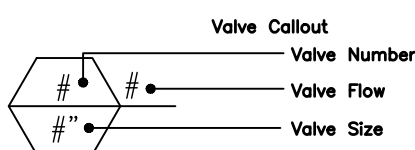
Month	Seasonal Adjustment Factor
April	60%
May	75%
June	90%
July	100%
August	90%
September	60%
October	50%

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
IR-101	DIAGRAMMATIC DRIPLINE. ROUTE AS NECESSARY IN FIELD. QUANTITIES WILL VARY FROM THOSE SHOWN ON PLAN.
IR-102	PROVIDE TWO (2) SLEEVES AT ALL MAINLINE CROSSINGS--ONE FOR PIPE AND ONE FOR WIRING.
IR-103	ALL LOCATIONS DIAGRAMMATIC FOR CLARITY. LOCATE IN LANDSCAPE BEDS. FIELD ADJUST AS NECESSARY AND PROVIDE RECORD VIA AS-BUILTS. SEE NOTES.
IR-104	ALL DRIP SUPPLY TUBING TO BE 3/4". ALL MICRO TUBING TO BE 1/4" AND STAKED AT EDGE OF ROOTBALL. PROVIDE EMITTERS PER SCHEDULE. PROVIDE BUG CAP AT TERMINUS OF ALL MICRO TUBING RUNS. ALL DRIP LINE TO BE PLACED OVER WEED BARRIER FABRIC (WHERE APPLICABLE).
IR-105	ADJUST HEADS AS NECESSARY TO AVOID OVERSPRAY WHILE MAINTAINING PROPER COVERAGE. RADII MUST BE ADJUSTED PRIOR TO INSPECTION. RADII MAY BE ADJUSTED UP TO 25%. PROVIDE ADDITIONAL HEADS IF REQUIRED. ADJUST LOCATIONS TO AVOID TREE CONFLICTS, ETC.
IR-106	TREE RING EMITTER. RE: DETAILS SHEET IR2.0.
IR-107	EXTEND TWO SPARE CONTROL WIRES WITH COMMON FROM CONTROLLER TO GENERAL LOCATION SHOWN. PLACE IN QUICK COUPLING VALVE BOX WITH QC VALVE FOR FUTURE EXPANSION.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
IR-101	HUNTER MP1000 PROS-06-CV TURF ROTATOR, 6" (15.24 CM) POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.	5	40
IR-102	HUNTER MP2000 PROS-06-CV TURF ROTATOR, 6" (15.24 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	95	40
IR-103	HUNTER MP3000 PROS-06-CV TURF ROTATOR, 6" (15.24 CM) POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI (2.76 BAR), MP ROTATOR NOZZLE ON PRS40 BODY. B=BLUE ADJ ARC 90-210, Y=YELLOW ADJ ARC 210-270, A=GRAY 360 ARC.	57	40
IR-104	RAIN BIRD XCZ-100-PRF MEDIUM FLOW DRIP CONTROL KIT, 1" DV VALVE, 1" PRESSURE REGULATING FILTER, 40PSI PRESSURE REGULATOR. 3GPM - 15GPM. USE LOW FLOW MODEL FOR FLOWS UNDER 3 GPM	5	
IR-105	FLUSH VALVE 3/4" PVC BALL VALVE IN 10" VALVE BOX.	15	
IR-106	TREE RING EMITTERS PROVIDE DRIP TREE RING EMITTER PER DETAILS SHEET IR2.0.	90	
IR-107	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5GPH=BLUE, 1.0GPH=BLACK, AND 2.0GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: Perennials to receive one of 0.5 GPH emitters Grasses to receive one of 1.0 GPH emitters Shrubs to receive two of 1.0 GPH emitters Trees to receive to receive tree drip ring emitter per details sheet	27,307 S.F.	
IR-108	RAIN BIRD PEB-PRS-D 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY. GLOBE CONFIGURATION. WITH PRESSURE REGULATOR MODULE.	6	
IR-109	RAIN BIRD 5-LRC 1" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 1-PIECE BODY.	9	
IR-110	NIBCO T-113-K CLASS 125 BRONZE GATE SHUT OFF VALVE WITH CROSS HANDLE, SAME SIZE AS MAINLINE PIPE DIAMETER AT VALVE LOCATION. SIZE RANGE - 1/4" - 3"	3	
IR-111	RAIN BIRD PEB-PRS-D 1-1/2" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY. GLOBE CONFIGURATION. WITH PRESSURE REGULATOR MODULE.	1	
IR-112	MANUAL DRAIN VALVE PROVIDE 10" ROUND BOX WITH 2" VALVE MARKER, PVC ACCESS SLEEVE, AND MINIMUM 6" DEPTH 3/4" WASHED RIVER ROCK SUMP FOR DRAINAGE. PROVIDE 3/4" MXF SCH 40 PVC 90 ELL AND 3/4" X 4" SCH 80 PVC NIPPLE TO SUMP FOR DRAINAGE. USE TEFLON TAPE ON ALL MALE THREADED PVC AND AND ALL NIPPLES	1	
IR-113	FEBCO 825YA 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTER	1	
IR-114	RAIN BIRD ESPLXMEF WITH (02) ESPLXMSM4 16 STATION COMMERCIAL CONTROLLER. MOUNTED ON A PLASTIC WALL MOUNT. FLOW SENSING AND WATER MANAGEMENT CAPABILITIES.	1	
IR-115	RAIN BIRD WR2-RC WIRELESS RAIN SENSOR COMBO, INCLUDES 1 RECEIVER AND 1 RAIN SENSOR TRANSMITTER.	1	
IR-116	RAIN BIRD FS-150-P 1-1/2" FLOW SENSOR FOR USE WITH RAIN BIRD MAXICOM, SITECONTROL, AND ESP-LXD CENTRAL CONTROL SYSTEMS. PLASTIC (PVC) MODEL. SUGGESTED OPERATING RANGE OF 5.0 GPM TO 100.0 GPM. SENSORS SHOULD BE SIZED FOR FLOW RATHER THAN PIPE SIZE.	1	
IR-117	GUARDSHACK EC-2 GUARDSHACK ECONOCAGE, WITH EP-1 AND FG-1. INSTALL PER MANUFACTURER REQUIREMENTS AND VERIFY LOCKING HARDWARE PRIOR TO TURNOVER.	1	
IR-118	POINT OF CONNECTION 1-1/2" CONNECT TO POTABLE DOMESTIC LINE. COORDINATE WITH CIVIL/MECHANICAL.	1	
IR-119	IRRIGATION LATERAL LINE: PVC CLASS 160 SDR 26 PVC CLASS 315 FOR 1/2" PIPE, PVC CLASS 200 FOR 3/4" PIPE, PVC CLASS 160 SDR 26 FOR 1" AND ABOVE. ONLY LATERAL TRANSITION PIPE SIZES 1 1/4" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 1" IN SIZE.	3,447 L.F.	
IR-120	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE.	1,378 L.F.	
IR-121	PIPE SLEEVE: PVC SCHEDULE 40 SEE NOTES AND SPECIFICATIONS FOR DEPTHS. EXTEND MIN 18" BEYOND EDGE OF PAVEMENT AND MARK IN FIELD.	753.7 L.F.	



CASE NUMBER: LU-16-00168

COLORADO AUTO FINDERS
SCHEMATIC IRRIGATION PLAN

NDS
NATURAL DESIGN SOLUTIONS
Landscape Architecture & Design
5539 Call Drive, Longmont, CO 80503
(303) 443-0388 - nels@nds-colorado.com

JOB NO.

SCALE SEE SHEET

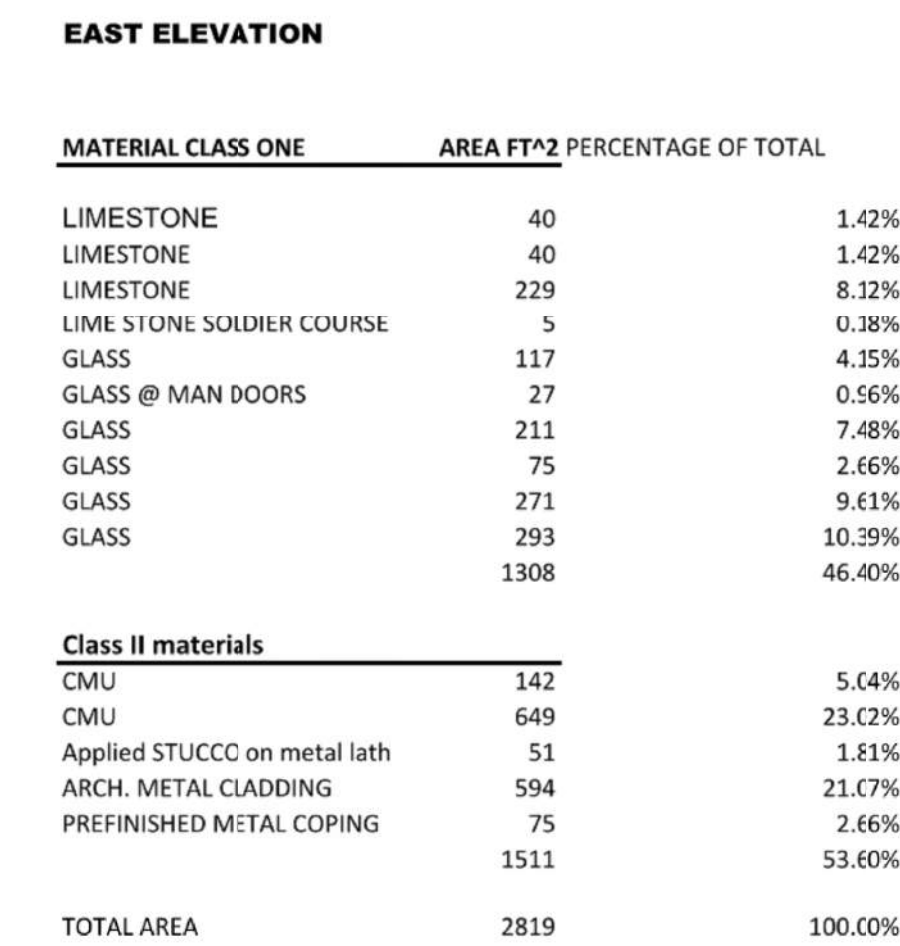
DATE June 20, 2016

SHEET

10

SHEETS

14



Architectural elevation drawing of the first floor of a building. The drawing shows a long, low profile with a flat roof and a series of vertical supports. The drawing includes various material callouts and dimensions.

Dimensions:

- T.O. PARAPET STONE VENEER: 125' - 5"
- T.O. PARAPET MTL PANEL: 124' - 0"
- T.O. CMU: 121' - 4"
- FIRST FLOOR: 100' - 0"

Material Callouts:

- RTU, MECHANICAL SCREENS
- INDUSTRIAL LOUVER PRODUCTS, PRE WEATHERED GALVALUME FINISH, REFER TO CUT SHEETS
- PREFINISHED GALVALUME CAP, SLATE GRAY
- CMU IVORY, SMOOTH FACE
- CMU IVORY, SMOOTH FACE
- PREFINISHED METAL CAP FLASHING
- T.O. PARAPET STONE VENEER
- T.O. PARAPET MTL PANEL
- T.O. CMU
- CHARCOAL CMU ACCENT
- MATCHING SOLDIER COURSE AT VENEER ACCENT CAPITALS
- THIN SET, NATURAL STONE VENEER, CHARCOAL
- STEEL PIPE BOLLARDS TO MATCH MBCI TLC-1 PANEL, RIVER TEAL

Architectural elevation drawing of the first floor of a building. The drawing shows a long, low structure with a dark blue base and a light-colored upper section. The upper section features a central entrance with a small overhang and a large window to the right. The left side has a large window and a smaller entrance. The drawing includes various material callouts: 'PREFINISHED, PARAPET CAP FLASHING.' for the roofline, 'LIMESTONE VENEER' for the upper walls, 'CEMENTITIOUS STUCCO CONTROL JOINT' for the lower walls, 'METAL SALES, TLC-1 PANEL, 24 GA. (RIVER TEAL)' for the dark blue base, 'CMU IVORY, SMOOTH FACE' for the central wall, and 'T.O. PARAPET STONE VENEER' for the roofline. Dimensions are provided for the overall width (100'-0") and height (125'-5"). A small figure of a person is shown for scale.

Architectural elevation drawing of a building facade. The drawing shows a long, low-profile building with a flat roof and a series of large, dark-framed windows or doors. The facade is composed of several materials: thin set natural stone veneer in charcoal on the lower portion, CMU in ivory with a smooth face on the upper portion, and galvalume cap in slate gray with CMU in ivory and a smooth face on the roofline. A small, dark, rectangular feature is visible on the roof. To the right, a taller section of the building is shown, featuring thin set natural stone veneer in charcoal and a large, dark-framed window. A small figure of two people is shown for scale. The drawing includes material callouts and dimensions for the first floor (100'-0") and the roofline (125'-5").

Material Callouts:

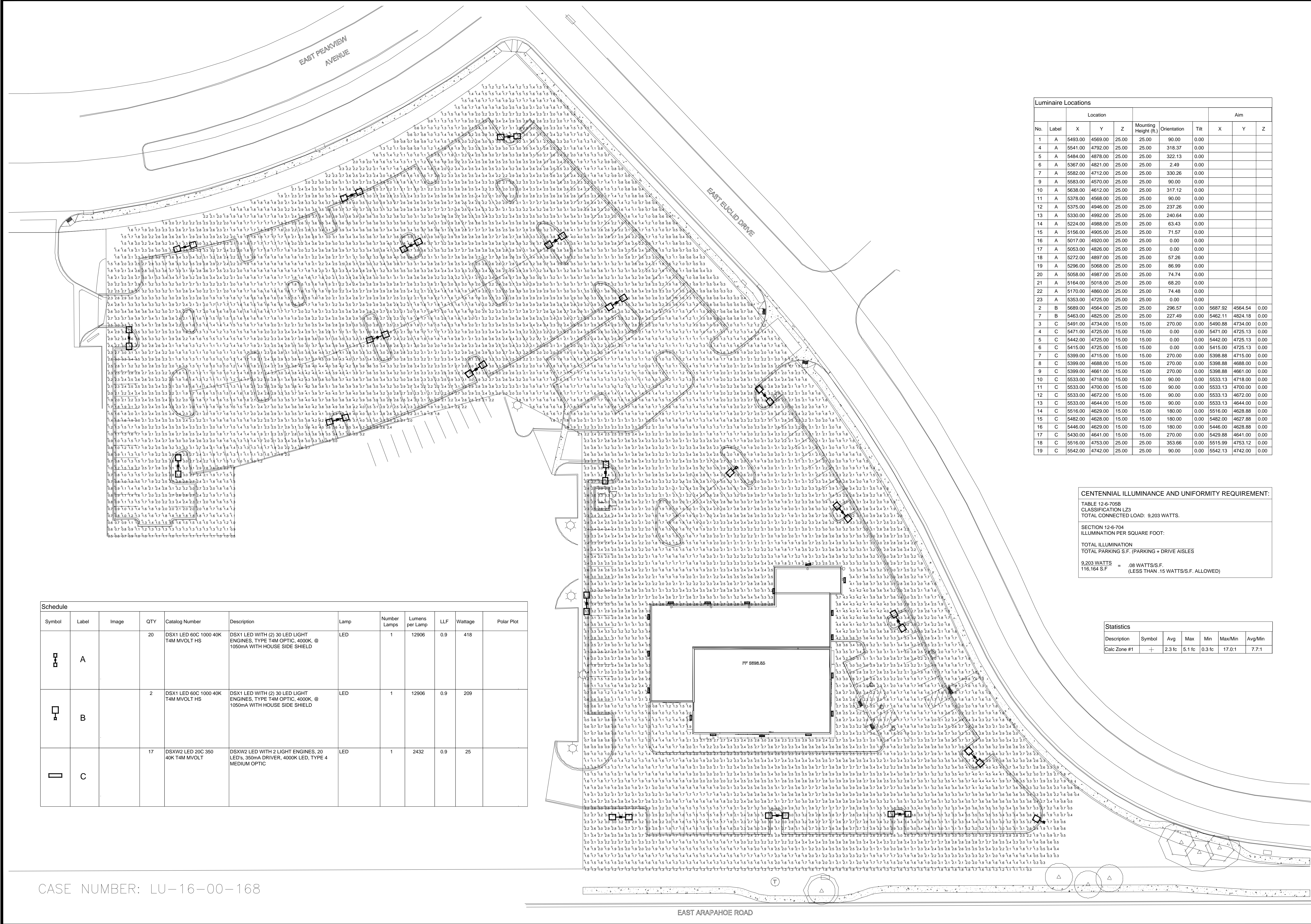
- T.O. PARAPET STONE VENEER 125'-5"
- T.O. PARAPET MTL PANEL 124'-0"
- T.O. CMU 121'-4"
- GALVALUME CAP, SLATE GRAY CMU IVORY, SMOOTH FACE
- CMU IVORY, SMOOTH FACE
- THIN SET, NATURAL STONE VENEER, CHARCOAL
- THIN SET, NATURAL STONE VENEER, CHARCOAL
- GA. (RIVER TEAL)
- T.O. PARAPET STONE VENEER 125'-5"
- T.O. PARAPET MTL PANEL 124'-0"
- T.O. CMU 121'-4"
- FIRST FLOOR 100'-0"

4 PRESENTATION WEST ELEVATION
1/8" = 1'-0"

NORTH ELEVATION		
		PERCENTA GE OF
<u>MATERIAL CLASS ONE</u>	<u>AREA FT^2</u>	<u>TOTAL</u>
L MESTONE	51	1.61%
L MESTONE	51	1.61%
L MESTONE	51	1.61%
L MESTONE	50	1.58%
L MESTONE	50	1.58%
L MESTONE	46	1.45%
G.ASS	234	7.38%
	533	16.80%
<u>Cass II materials</u>		
CIU	850	27%
CIU	767	24%
CIU	646	20%
Applied STUCCO on metal lath	0	0%
ATCH. METAL CLADDING @ DOOR	241	8%
PIEFINISHED METAL COPING	135	4%
		0%
	2639	83%
<u>TOTAL AREA</u>	<u>3172</u>	<u>100%</u>

SOUTH ELEVATION		PERCENTA GE OF TOTAL
MATERIAL CLASS ONE	AREA FT²*	
LIMESTONE	291	9%
LIMESTONE	388	13%
LIMESTONE	98	3%
LIME STONE	96	3%
GLASS	213	7%
GLASS	213	7%
GLASS	266	9%
GLASS	213	7%
GLASS	75	2%
GLASS	220	7%
	2073	67%
Class II materials		
CWU	219	7%
ARCH. METAL CLADDING	266	9%
Applied STUCCO on metal lath	51	2%
ARCH. METAL CLADDING	467	15%
	1003	33%
TOTAL AREA	3076	100%

MATERIAL CLASS ONE	AREA FT²2	
LIMESTONE	300	11.37%
LIMESTONE	294	11.14%
LIMESTONE	40	1.52%
GLASS	78	0.00%
GLASS OV. DOOR	295	11.18%
GLASS OV. DOOR	122	4.62%
TOTAL	1129	42.80%
Class II materials		
CMJ	222	8.42%
CMJ	692	26.23%
		1.90%
Applied STUCCO on metal lath	50	1.90%
ARCH. METAL CLADDING	93	3.53%
PREFINISHED METAL COPING	102	3.87%
Metal at overhead doors	300	11.37%
TOTAL	1459	57.20%
TOTAL AREA	2638	100.00%



Schedule									
Symbol	Label	Image	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF Wattage Polar Plot
	A		20	DSX1 LED 60C 1000 40K T4M MVOLT HS	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 1050mA WITH HOUSE SIDE SHIELD	LED	1	12906	0.9 418
			2	DSX1 LED 60C 1000 40K T4M MVOLT HS	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 1050mA WITH HOUSE SIDE SHIELD	LED	1	12906	0.9 209
	C		17	DSXW2 LED 20C 350 40K T4M MVOLT	DSXW2 LED WITH 2 LIGHT ENGINES, 20 LED'S, 350mA DRIVER, 4000K LED, TYPE 4 MEDIUM OPTIC	LED	1	2432	0.9 25

Luminaire Locations										
		Location						Aim		
No.	Label	X	Y	Z	Mounting Height (ft.)	Orientation	Tilt	X	Y	Z
1	A	5493.00	4569.00	25.00	25.00	90.00	0.00			
4	A	5541.00	4792.00	25.00	25.00	318.37	0.00			
5	A	5484.00	4878.00	25.00	25.00	322.13	0.00			
6	A	5367.00	4821.00	25.00	25.00	2.49	0.00			
7	A	5582.00	4712.00	25.00	25.00	330.26	0.00			
9	A	5583.00	4570.00	25.00	25.00	90.00	0.00			
10	A	5638.00	4612.00	25.00	25.00	317.12	0.00			
11	A	5378.00	4568.00	25.00	25.00	90.00	0.00			
12	A	5375.00	4946.00	25.00	25.00	237.26	0.00			
13	A	5330.00	4992.00	25.00	25.00	240.64	0.00			
14	A	5224.00	4988.00	25.00	25.00	63.43	0.00			
15	A	5156.00	4905.00	25.00	25.00	71.57	0.00			
16	A	5017.00	4920.00	25.00	25.00	0.00	0.00			
17	A	5053.00	4826.00	25.00	25.00	0.00	0.00			
18	A	5272.00	4897.00	25.00	25.00	57.26	0.00			
19	A	5296.00	5068.00	25.00	25.00	86.99	0.00			
20	A	5058.00	4987.00	25.00	25.00	74.74	0.00			
21	A	5164.00	5018.00	25.00	25.00	68.20	0.00			
22	A	5170.00	4860.00	25.00	25.00	74.48	0.00			
23	A	5353.00	4725.00	25.00	25.00	0.00	0.00			
2	B	5689.00	4584.00	25.00	25.00	296.57	0.00	5687.92	4564.54	0.00
7	B	5463.00	4825.00	25.00	25.00	227.49	0.00	5462.11	4824.18	0.00
3	C	5491.00	4734.00	15.00	15.00	270.00	0.00	5490.88	4734.00	0.00
4	C	5471.00	4725.00	15.00	15.00	0.00	0.00	5471.00	4725.13	0.00
5	C	5442.00	4725.00	15.00	15.00	0.00	0.00	5442.00	4725.13	0.00
6	C	5415.00	4725.00	15.00	15.00	0.00	0.00	5415.00	4725.13	0.00
7	C	5399.00	4715.00	15.00	15.00	270.00	0.00	5398.88	4715.00	0.00
8	C	5399.00	4688.00	15.00	15.00	270.00	0.00	5398.88	4688.00	0.00
9	C	5399.00	4661.00	15.00	15.00	270.00	0.00	5398.88	4661.00	0.00
10	C	5533.00	4718.00	15.00	15.00	90.00	0.00	5533.13	4718.00	0.00
11	C	5533.00	4700.00	15.00	15.00	90.00	0.00	5533.13	4700.00	0.00
12	C	5533.00	4672.00	15.00	15.00	90.00	0.00	5533.13	4672.00	0.00
13	C	5533.00	4644.00	15.00	15.00	90.00	0.00	5533.13	4644.00	0.00
14	C	5516.00	4629.00	15.00	15.00	180.00	0.00	5516.00	4628.88	0.00
15	C	5482.00	4628.00	15.00	15.00	180.00	0.00	5482.00	4627.88	0.00
16	C	5446.00	4629.00	15.00	15.00	180.00	0.00	5446.00	4628.88	0.00
17	C	5430.00	4641.00	15.00	15.00	270.00	0.00	5429.88	4641.00	0.00
18	C	5516.00	4753.00	25.00	25.00	353.66	0.00	5515.99	4753.12	0.00
19	C	5542.00	4742.00	25.00	25.00	90.00	0.00	5542.13	4742.00	0.00

CENTENNIAL ILLUMINANCE AND UNIFORMITY REQUIREMENT:

TABLE 12-6-705B
CLASSIFICATION L23
TOTAL CONNECTED LOAD: 9,203 WATTS.

SECTION 12-6-704
ILLUMINATION PER SQUARE FOOT:

TOTAL ILLUMINATION
TOTAL PARKING S.F. (PARKING + DRIVE AISLES)

9,203 WATTS
116,164 S.F. = .08 WATTS/S.F.
(LESS THAN .15 WATTS/S.F. ALLOWED)

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.3 fc	5.1 fc	0.3 fc	17.0:1	7.7:1

CASE NUMBER: LU-16-00-168

REVISIONS

Description	Date	By	Rev
1ST SUBMITTAL	6-21-16	RH	

DRAWN
RH

CHECKED
RH

DESIGNED
RH

FILENAME
SITE PHOTOMETRIC

(COMPANY LOGO)

(COMPANY ADDRESS)

(COMPANY PHONE NO.)

JOB NO.
6042

SCALE
N/A

DATE
JUNE 20, 2016

SHEETS
14

SHEET
14